



T1



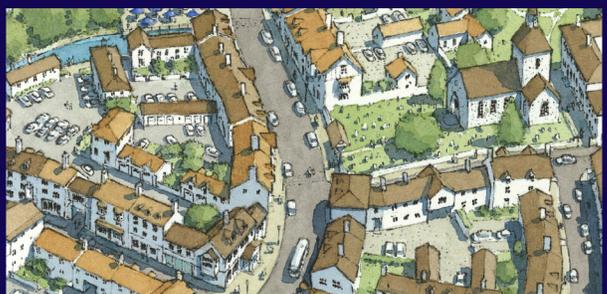
T2



T3



T4



T5



T6

ARTICLE 5 - SECTION 134-286

MABLETON FORM-BASED REDEVELOPMENT

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134.286.1 **GENERAL PROCEDURES**

134.286.1.1 INTENT

134.286.1.1.1 The intent and purpose of this Section is to enable and encourage the implementation of the following policies:

134.286.1.1.2 THE COUNTY

- a. That the county should retain its natural infrastructure and visual character.
- b. That growth strategies should encourage *infill* development in parity with the development of *new communities*.
- c. That development within or contiguous to urbanized areas should support Traditional Neighborhood Development (*TND*) or Regional Corridor Development (*RCD*) patterns.
- d. That development non-contiguous to urbanized areas should be organized in the pattern of Consolidated Agriculture Settlement (*CAS*), Clustered Land Development (*CLD*), *TND*, or *RCD*.
- e. That *affordable housing* should be distributed throughout the region to balance jobs and to avoid concentrations of poverty.
- f. That transportation *corridors* should be planned and reserved in coordination with land use.
- g. That green *corridors* should be used to define and connect the urbanized areas.
- h. That the county should include a framework of transit, pedestrian, and bicycle systems that provide alternatives to the automobile.

134.286.1.1.3 THE COMMUNITY

- a. That compact, pedestrian-oriented and *mixed use* development should be enabled as a pattern of development.
- b. That ordinary activities of daily living should occur within walking distance of most dwellings, allowing independence to those who do not drive.
- c. That interconnected networks of *thoroughfares* should be designed to disperse traffic and reduce the length of vehicle trips.
- d. That a range of housing types, sizes and price levels should be provided to accommodate diverse ages and incomes.
- e. That appropriate building *densities* and land uses should be provided within walking distance of transit stops.
- f. That *civic*, institutional, and *commercial* activity should be in downtowns, not isolated in remote single-use complexes.
- g. That schools should be sized and located to enable most children to walk or bicycle to them.
- h. That a range of *open space*, specifically *parks*, *squares*, and playgrounds should be distributed within neighborhoods and downtowns.

134.286.1.1.4 THE BLOCK AND THE BUILDING

- a. That buildings and landscaping should be disciplined to contribute to the spatial definition of *thoroughfares*.
- b. That block structure should adequately accommodate automobiles while respecting the pedestrian and the spatial form of public areas.
- c. That the design of streets and buildings should reinforce safe environments, but not at the expense of accessibility.
- d. That architecture and landscape design should grow from local climate, topography, history, and building practice.
- e. That the architectural design of buildings should respond to climate through energy efficient methods.

- f. That *civic buildings* and public gathering places should be distributed to locations that reinforce community identity and support local governance.
- g. That *civic buildings* should be distinctive and appropriate to a role more important than the other buildings that constitute the fabric of the city.
- h. That the preservation and re-use of historic buildings should be facilitated.
- i. That the harmonious and orderly evolution of urban areas should be secured through regulating the form of buildings.

134.286.1.1.5 THE TRANSECT

- a. That *communities* should provide meaningful choices in living arrangements as enabled by distinct physical environments.
- b. That the *transect zone* descriptions on Table 1 shall constitute the intent of this Code with regard to the general character of each of these environments.

134.286.1.2 APPLICABILITY

- 134.286.1.2.1 Provisions of this Section are activated by “shall” or “are” when required, “should” when recommended, and “may” when optional.
- 134.286.1.2.2 Provisions of this Section, when in conflict, shall take precedence over those of other codes, ordinances, regulations and standards except Chapter 54 (Fire Prevention and Protection) of the Cobb County Code; the Cobb County Commission approved International Building Code; International Fire Code; International Mechanical Code; International Plumbing Code; International Residential Code; National Electrical Code; International Fuel Gas Code; International Energy Conservation Code; and International Property Management Code.
- 134.286.1.2.3 The existing provisions of the Cobb County Code and Cobb County Development Standards shall continue to be applicable to issues not covered by this Section except where the existing local codes would be in conflict.
- 134.286.1.2.4 Italicized terms used throughout this Section are defined in Article 7 (Definitions & Synonyms). Article 7 contains regulatory language that is integral to this Section. Those terms not defined in Article 7 shall be accorded their commonly accepted meanings. In the event of conflicts between these definitions and those of the existing local codes, those of this Section shall take precedence.
- 134.286.1.2.5 The provisions of this Section or the numerical metrics of its tables, when in conflict with diagrams and illustrations, shall take precedence.

134.286.1.3 APPROVALS PROCESS

- 134.286.1.3.1 A *Review Committee (RC)* shall process administratively applications and plans for proposed projects.
- 134.286.1.3.2 An owner may request a *variance* or appeal a decision of the *RC* to the Board of Zoning Appeals.

134.286.1.4 WARRANTS AND VARIANCES

- 134.286.1.4.1 There are two types of deviations from the requirements of this Section: *warrants* and *variances*.
- 134.286.1.4.2 A *warrant* shall permit a practice that is not consistent with a specific provision of this Section but is justified by the intent of 134.286.1.1. The Warrant Committee (*WC*) shall have the authority to approve or disapprove administratively a request for a *warrant* pursuant to the procedures established by the *RC*.
- 134.286.1.4.3 A *variance* is any ruling on a deviation other than a *warrant*. *Variances* shall be granted only by the Board of Zoning Appeals.

134.286.1.5 INCENTIVES

134.286.1.5.1 To encourage the use of this Section, an incentives plan shall be established, referred to here as the Mableton Redevelopment Incentives Plan, which will need to be approved by the Cobb County Board of Commissioners and the Business Incentives Review Committee. Ideas to include in the incentives plan are set forth below:

- a. Applications under this Section shall be processed administratively by the RC rather than through public hearing.
- b. Cobb County shall reduce review fees by 40%.
- c. Cobb County may increase density by the subsidized transfer of development rights (TDR) if a TDR program is approved by the Board of Commissioners.
- d. Cobb County shall maintain those internal thoroughfares that through-connect to adjacent sites.
- e. Cobb County shall consider the provision of tax relief to first-time buyers of dwellings and newly created businesses within Zones T4, T5 and T6.

134.286.1.5.2 To encourage the provision of affordable housing under this Section, an affordable housing element shall be included in the Mableton Redevelopment Incentives Plan, to incentivize development as set forth below:

- a. The minimum threshold of *affordable housing* eligible for *affordable housing* incentives is 30% of housing units developed per application.
- b. Applications containing *affordable housing* shall be processed with priority over others, including those with earlier filing dates, providing that other applications are not pushed past their deadlines.
- c. Cobb County shall waive review fees.
- d. Maximum density shall be adjusted upwards by a factor of 1.3.

134.286.1.5.3 To encourage walkability and shared parking required parking for areas within the Mableton Form-based Redevelopment shall be adjusted downward by a factor of 0.8.

134.286.1.6 AMENDMENTS

134.286.1.6.1 There are two types of amendments available for this Section, amendments to the regulating plan and amendments to the metrics of this Section. Amendments may be permitted, provided they are consistent with the intent of this Section and adhere to the regulations of Section 134.286.1.6. All Amendments to the regulating plan and metrics of this section shall be approved by Board of Commissioners.

134.286.1.6.2 Amendments to this Section shall be considered once per year on a date specified by the Community Development Agency. Modifications to the regulating plan and metrics, including changes in transect zone assignments may not be considered outside of this period.

134.286.1.6.3 The Community Development Agency may have prepared on its behalf amendments to the regulating plan, subject to the approval of the legislative body. Amendments shall adhere to the following:

- a. Transect zone boundaries may be modified provided they adhere to the following allocation allowances for the community unit.

i. TND

T1	T2	T3	T4	T5	T6
N/A	max. 20%	max. 50%	30-80%	10-30%	N/A

ii. RCD

T1	T2	T3	T4	T5	T6
N/A	N/A	N/A	max. 50%	10-50%	30-80%

- b. Transect zone boundary modifications shall be limited to a single increase in zone: T3 to T4, T4 to T5, and T5 to T6.
- c. The thoroughfare network plan may be modified provided the following:
 - i. The thoroughfare network shall define blocks not exceeding the following perimeter lengths, measured as the sum of lot frontage lines.

T1	T2	T3	T4	T5	T6
N/A	N/A	3000 ft	2400 ft	1800 ft	2000 ft

- ii. All thoroughfares shall terminate at other thoroughfares in intersections, forming a network.
- iii. Modifications to the thoroughfare network may not reduce the overall network grid density, calculated in terms of links and nodes.
- iv. The *link to node* ratio should remain above 1.4.
- d. Civic zone boundaries and allocation may be modified by expansion to up to 20% of a community unit or reduction to no less than 5% of a community unit.
- e. Special Requirement assignments may be modified. Mandatory retail, gallery, and arcade frontages are only available for T5 and T6.
- f. A transit overlay district should be assigned to land in proximity to rail transit and bus rapid transit (BRT) stations.

134.286.1.6.4 The Community Development Agency, through a process of public consultation, may modify the metrics of this Section in the following ways:

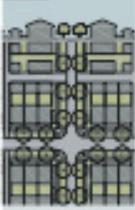
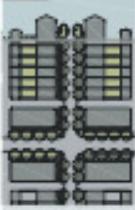
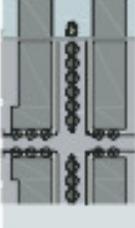
- a. Maximum allocation allowances may be modified for increases in T4 and T5 allocations. Minimum allocations for T4 and T5 may not be reduced.
- b. Maximum density ratios may be increased for T4, T5, and T6. Increases may not exceed 5 units per gross acre for any transect zone, per adjustment.
- c. Maximum density ratios may be reduced through a process of public hearing available every 20 years. Decreases may not exceed 5 units per gross acre for any transect zone, per adjustment.
- d. Parking requirements, in Tables 5D and 5F and 6D and 6F, may be adjusted downwards.
- e. Building setback requirements may be modified except for minimum front setbacks in T5 and T6. Building setback modifications shall apply to the entire transect zone.
- f. Building height maximum may be increased for T4, T5, and T6 zones. Building height modifications may be available every 5 years. Building height modifications shall apply to the entire transect zone and be limited to a maximum increase of 2 stories per adjustment.
- g. Specific functions and uses, Table 5E and 6E, may be modified by specifying new uses, and allowing or restricting listed uses. Multi-family residential, inns, office buildings, live-work units, restaurants, and retail buildings may not be restricted in T4, T5, and T6.

134.286.1.6.5 An amendment process and application shall be established by the Community Development Agency.

134.286.1.6.6 Individual properties may be granted the following exceptions provided they provide benefits to the County as listed below.

- a. Increase in maximum density ratio, no greater than than 10 units per gross acre above the existing maximum in T4, T5, and T6.
- b. Increase in maximum building height, no greater than 2 stories above the existing maximum in T4, T5, and T6.
- c. Increase in transect zone, no greater than 1 transect zone above the existing. Modifications shall adhere to Section 134.286.1.6.3.a.
- d. Those properties granted the above exceptions shall provide one or more of the following benefits:
 - i. 15% of total dwelling units maintained as affordable housing
 - ii. All buildings constructed rated LEED gold or platinum
 - iii. Public space, dedicated in an easement or deeded to the county, in the form of a park, green, square, plaza, or playground.

TABLE 1A. TRANSECT ZONE DESCRIPTIONS

<p>T1</p> 	<p>T-1 NATURAL ZONE This zone consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation.</p>
<p>T2</p> 	<p>T-2 RURAL ZONE This zone consists of sparsely settled lands in open or cultivated condition. These include woodland, agricultural land, grassland, and irrigable desert. Typical structures are farmhouses, agricultural buildings, cabins, and villas on large estates.</p>
<p>T3</p> 	<p>T-3 SUB-URBAN This zone consists of low density residential areas, with some mixed use. Home occupations and outbuildings are present. Planting is naturalistic and building setbacks are relatively deep. Blocks may be large and the road networks irregular to accommodate natural conditions.</p>
<p>T4</p> 	<p>T-4 URBAN TRANSITION ZONE This zone consists of a mixed use but primarily residential urban fabric. It may have a wide range of building types: houses and rowhouses and small apartment buildings. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium-sized blocks.</p>
<p>T5</p> 	<p>T-5 URBAN CENTER ZONE This zone consists of higher density mixed use building that accommodate retail, offices, rowhouses and apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.</p>
<p>T6</p> 	<p>T-6 URBAN CORE ZONE This zone consists of the highest density and height, with the greatest variety of uses, and civic buildings of regional importance. It may have larger blocks; streets have steady street tree planting and buildings set close to the wide sidewalks. Typically only large towns and cities have an Urban Core Zone.</p>

SMARTCODE 134.286.5. TRADITIONAL NEIGHBORHOOD DEVELOPMENT STANDARDS

Mableton, Georgia

134.286.5 TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) STANDARDS

134.286.5.1 INTENT

- 134.286.5.1.1 In accordance with the intent of this Section, 134-286.5 regulates the development and modification of buildings and other elements of the built environment within the private *lot*, based on the following premises:
- a. That building regulations should equitably balance the rights of the individual and the interests of the community as a whole.
 - b. That building form individually and collectively defines and supports the public realm.
 - c. That building configuration should support walkability, safe streets, and safe public spaces, creating pedestrian friendly neighborhoods.
 - d. That building scale should define streets and public spaces as rooms, and should vary by context and intensity in coordination with neighboring properties.

134.286.5.2 INSTRUCTIONS

- 134.286.5.2.1 This Article sets forth the standards applicable to the development and modification of buildings and other elements of the built environment within private *lots*, by *transect zone*, in the *community units* to which it applies.
- 134.286.5.2.2 Plans required by this Section are subject to administrative approval by the *RC*.
- 134.286.5.2.3 Building and site plans submitted for approval shall demonstrate compliance with:
- a. *Density* calculations (Section 134.286.5.3)
 - b. *Transit overlay district* (Section 134.286.5.4)
 - c. *Lot* standards (Section 134.286.5.5)
 - d. *Building disposition* (Section 134.286.5.6)
 - e. *Building configuration* (Section 134.286.5.7)
 - f. *Frontage* standards (Section 134.286.5.8)
 - g. *Building function* (Sections 134.286.5.9)
 - h. Parking standards (Section 134.286.5.10)
 - i. Landscape standards (Section 134.286.5.11)
 - j. Signage standards (Section 134.286.5.12)
 - k. *Nonconformities*, if any (Section 134.286.5.13)
 - l. Special requirements, if any (Section 134.286.5.14)
 - m. Building materials and configuration (Section 134.286.5.15)
 - n. Supplementary standards (Section 134.286.5.16)

134.286.5.3 DENSITY CALCULATIONS

- 134.286.5.3.1 The *base density* of each lot shall be calculated in terms of housing units per acre of *gross lot area*, including the *net lot area* and the area of adjacent *thoroughfares*, *alleys* and *passages* between *lot lines* and centerlines.
- a. *Base density* shall be limited to the following *maximum density* ratios:

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Mableton, Georgia

T1	T2	T3	T4	T5	T6
N/A	N/A	8 units / gross acre (1 unit / 5445 sf lot area)	24 units per 1 acre gross	56 units per 1 acre gross	N/A

- b. The minimum allowable *maximum density* of each lot shall be 1 unit. Fractional remainders greater than one half shall be rounded upwards.
- c. Housing in *outbuildings* shall not count towards *base density*.
- d. *Maximum density* may be modified by *transit overlay district (TOD)* according to Section 134.286.5.4.

134.286.5.3.2 *Building functions* other than housing (*other functions*) shall count towards *base density* as follows:

- a. *Other functions* shall be counted as housing units at the following ratios:
 - i. For *lodging*: 1 housing unit per 3 lodging bedrooms
 - ii. For *office*: 1 housing unit per 1500 square feet of *office*
 - iii. For *retail*: 1 housing unit per 2000 square feet of *retail*
- b. The number of housing units per *lot* assigned to *other functions* shall be limited to the following percentages of the allowable *maximum density*.

T1	T2	T3	T4	T5	T6
N/A	N/A	20%	30%	70%	80%

134.286.5.4 TRANSIT OVERLAY DISTRICT

134.286.5.4.1 Any part of an *infill community unit* located within a half-mile of an existing or projected rail transit or *bus rapid transit (BRT)* station shall be mapped as a *transit overlay district (TOD)* and the provisions of this Section modified as follows.

134.286.5.4.2 The *maximum density* of *transect zones* within the *transit overlay district* shall be increased in the following amounts:

- a. 80% for land within 660 feet of the station
- b. 60% for land within 1,320 feet of the station
- c. 40% for land within 2,640 feet of the station

134.286.5.4.3 *Required parking* within the *transit overlay district* shall be modified as follows:

- a. Land within 660 feet of the station may be exempted from *required parking*.
- b. The *effective parking* provided for land within 1,320 feet of the station may be adjusted upward by a multiplier of 1.5.
- c. The *effective parking* provided for land within 2,640 feet of the station may be adjusted upward by a multiplier of 1.2.

134.286.5.5 LOT STANDARDS

134.286.5.5.1 For the purposes of this Section, each lot shall be composed of three layers according to Table 5B.

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Mableton, Georgia

- 134.286.5.5.2 The portion of a *lot* *enfronting* a *thoroughfare* or a *passage* shall be designated its *principal frontage*. *Corner lots* shall have designated a *principal frontage* along the *thoroughfare* or *passage* of higher pedestrian importance and a *secondary frontage* along the remaining *frontage*. *Lots*, other than *corner lots*, *enfronting* more than one *thoroughfare* or *passage* shall have their frontages determined by *warrant* and may be subject to more than one *principal frontage*.
- 134.286.5.5.3 Any portion of a *lot* mapped with a mandatory or recommended *infill thoroughfare* shall consider the new right-of-way as an access easement. Right-of-ways of mandatory or recommended *infill thoroughfares* may qualify as *frontages*. The planning office may determine a discretionary *thoroughfare* designation as an easement and *frontage*.
- 134.286.5.5.4 Newly platted *lots*, subdivisions of existing *lots* and newly assembled *lots* shall not exceed the following *lot* widths as measured along their *principal frontage*:

T1	T2	T3	T4	T5	T6
N/A	by <i>warrant</i>	54 ft. min 260 ft max	18 ft min 120 ft max	14 ft min 180 ft max	N/A

- 134.286.5.5.5 *Lots* assembled into one ownership within one *transect zone* may be developed as a single *lot*.
- 134.286.5.5.6 *Lots* assembled into one ownership that encompass more than one *transect zone* shall be developed according to the corresponding *transect zone* regulations for each *lot*. In such cases there shall be no transfer of *density* or use between *transect zones*.
- 134.286.5.5.7 Where *lots* are assembled into one ownership, the side or rear *setbacks* between assembled *lots* may be eliminated.
- 134.286.5.5.8 An existing *lot*, as of the effective date of this Section, that exceeds the maximum *lot* size as set forth in 134.286.5.5.4 may be developed as one *lot*.
- 134.286.5.5.9 An existing *lot*, as of the effective date of this Section, that has been assigned more than one *transect zone*, may be developed as one *lot* according to the highest *transect zone* regulation assigned. Such *lots* may be subdivided per Section 134.286.5.5.4 according to the corresponding *transect zone* regulations as assigned within the *lot*.
- 134.286.5.5.10 *Lot coverage* by buildings shall not exceed the maximum percentages by *transect zone* in Table 5B.

134.286.5.6 BUILDING DISPOSITION

- 134.286.5.6.1 *Building disposition* in T2 shall be determined by *warrant*.
- 134.286.5.6.2 Buildings shall be disposed on a *lot* as follows:
 - a. Buildings should be generally disposed by *transect zone* according to Table 5A.
 - b. Two buildings may be built on each *lot*, one *principal building* at the *principal frontage*, and one *outbuilding*.
 - c. The *facade* of the *principal building* shall be built parallel to a rectilinear *principal frontage* line or to the tangent of a curved *principal frontage* line.
 - d. The *facade* of the *principal building* shall occupy a minimum percentage of the *principal frontage* width within the *front setback*, as specified in Table 5B as *frontage buildout*.

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Mableton, Georgia

e. The *principal entrance* in *T5* and *T6* shall be on a *frontage line*. *Forecourts* and *recessed stoops* that recess the *principal entrance* from the *frontage line* are permitted.

134.286.5.6.3 Buildings shall be setback from the boundaries of their lots by *transect zone* according to Table 5B.

a. The *rear setback* for *outbuildings* shall be a minimum of 15 feet measured from the centerline of the *alley*. In the absence of an *alley*, the *rear setback* shall be as shown in Table 5B.

b. *Front setback* requirements may be modified by *warrant* to accommodate slopes over ten percent.

134.286.5.7 BUILDING CONFIGURATION

134.286.5.7.1 Building height shall be measured in stories for each level above-ground. Stories may not exceed 14 feet in height.

134.286.5.7.2 Ground floor *commercial functions* shall have a minimum story height of 11 feet and a maximum of 25 feet. A single floor level exceeding 18 feet at ground level shall be counted as two (2) stories.

134.286.5.7.3 Ground floor *residential* or *lodging functions* should be raised a minimum of 2 feet from average *sidewalk* grade at the *principal frontage*.

a. Access to accessory units in raised basements and upper floor *residential* uses in *mixed-use* buildings may be at *sidewalk* grade.

134.286.5.7.4 Height limits do not apply to *attics* or raised basements, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads.

134.286.5.7.5 For free standing *parking structures*, building height shall be measured in feet according to Table 5B.

134.286.5.7.6 For *parking structures* attached to a building or buildings for at least 50% of their perimeter, *stories* may exceed the limit for *parking structure* height provided they not exceed the eave height of the attached building or buildings.

134.286.5.7.7 The habitable area of an *accessory unit* within a *principal building* or an *outbuilding* shall not exceed 600 square feet.

134.286.5.8 FRONTAGE STANDARDS

134.286.5.8.1 PRIVATE FRONTAGES GENERAL

a. The *first lot layer* shall contain the *private frontage*, configured by *transect zone* according to Table 5C.

b. *Lots* *enfronting* two or more *thoroughfares* or *passages* shall have *private frontages* along each *thoroughfare*. Prescriptions for the second and third *layers* pertain only to the *principal frontage*. Prescriptions for the first *layer* pertain to all *frontages*.

c. Balconies and bay windows may *encroach* into the *first lot layer* up to 25% of its depth in *T3*, 50% in *T4* and 100% in *T5*.

d. Loading docks and service areas may be permitted in *T5* on *frontages* by *warrant*.

e. In the absence of a building *facade* along any part of a *frontage line* in *T5*, a *streetscreen* shall be built coplanar with the *facade*. *Streetscreens* shall be between 4 and 8 feet in height and have openings no larger than necessary to allow automobile and pedestrian access.

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f. Ground floor *commercial functions* shall provide a *shopfront frontage* at minimum.

134.286.5.8.2 **COMMON YARD AND PORCH AND FENCE FRONTAGES**

a. Fences and hedges may be located along *frontage lines* at *porch and fence frontages*.

Fences and hedges at *frontages* shall be limited to a maximum height of 4 feet.

b. *Porches* may *encroach* into the *first lot layer* up to 50% of its depth in *T3* and 100% of its depth in *T4*.

c. *Porches* shall be no less than 8 feet deep in *T3* and 4 feet deep in *T4*.

134.286.5.8.3 **TERRACE AND LIGHTWELL FRONTAGES**

a. *Terrace* and *lightwell frontages* may *encroach* into the *first lot layer* up to 100% of its depth.

b. *Terraces* should be raised a minimum of 18 inches from the average sidewalk grade at the *frontage*.

134.286.5.8.4 **FORECOURT FRONTAGES**

a. *Forecourts* shall be combined with *terrace, lightwell, stoop, shopfront, gallery, or arcade frontages*.

b. *Forecourts* may recess from the frontage line a maximum of 15 feet for pedestrian *forecourts* or a maximum of 30 feet for vehicular *forecourts*.

c. Vehicular *forecourts* may not be paved in asphalt and should be designed in coordination with the *public frontage*.

d. *Driveways* within *forecourts* shall be limited to 20 feet in width. Portions of the *driveway* in the *public frontage* shall be limited to 12 feet and may be paved in stone, brick, cobble, or to match the adjacent *public frontage*.

134.286.5.8.5 **STOOP FRONTAGES**

a. *Stoops* may *encroach* into the *first lot layer* up to 100% of its depth.

b. *Stoops* may be recessed into the building *facade* where the *front setback* is less than 4 feet.

134.286.5.8.6 **SHOPFRONT FRONTAGES**

a. *Shopfronts* may be freestanding or combined with *gallery or arcade frontages*.

b. *Shopfronts* shall be glazed with clear glass for no less than 70% of the ground floor at *principal and secondary frontages*.

c. *Awnings* may *encroach* into the *first lot layer* up to 100% of its depth and may *encroach* into the *public frontage* to within two feet of the curb.

d. *Awnings* that *encroach* into the *public frontage* shall provide a minimum 6 foot wide clear path and project horizontally from the *facade* a minimum of 8 feet.

e. *Awnings* may be fixed or movable and shall span a minimum of 80% of the frontage width without gaps.

134.286.5.8.7 **GALLERY FRONTAGES**

a. *Gallery frontages* shall provide a minimum 6 foot wide *walkway* and should *encroach* into the *public frontage* to within two feet of the curb.

b. *Galleries* shall provide a minimum vertical clearance of 9 feet and project horizontally from the *facade* a minimum of 10 feet.

c. *Public planting* and *public lighting* may be omitted where *galleries encroach* into the *public frontage*.

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- d. A *gallery frontage* may be combined with a *shopfront*.

134.286.5.9 BUILDING FUNCTION

- a. *Buildable density* and intensity of use shall be determined by *transect zone* on a per *lot* basis by the *effective parking* provided and the *maximum density* allowable in the *community unit*.
- b. Building use shall be limited to the allowable *building functions* and *specific functions* by *transect zone* according to Tables 5D and 5E.
- c. Permitted *commercial functions* other than *office* and *lodging* shall be limited to the ground floor. Units accessed by a *lightwell frontage* in *T5* may be permitted a *commercial function* in the basement level in addition to the area located on the ground floor.
- d. *Manufacturing functions* permitted in Table 5E may be located in *outbuildings* by right and in *principal buildings* by *warrant*.

134.286.5.10 PARKING STANDARDS

134.286.5.10.1 PARKING REQUIREMENTS

- a. Parking requirements shall be determined by use and *transect zone* according to Tables 5D and 5F.
 - i. *Accessory units* shall be exempt from parking requirements.
 - ii. *Liner buildings* less than 30 feet deep and no more than two *stories* shall be exempt from parking requirements.
- b. Parking provided shall include the actual parking spaces provided within the *lot* and along the parking lane corresponding to *lot frontages*.
- c. The *required parking* may be adjusted downward according to the *shared parking table* in Table 6F. *Shared parking* may be applied as follows:
 - i. The *shared parking table* is available for two or more *functions* within a single *lot* or within one *block* provided a shared parking facility as designated in 134.286.5.10.1.d.
 - ii. The adjusted *required parking* resulting from the *shared parking table* shall be calculated as the highest *shared parking requirement* resulting from the completed *shared parking table*.
- d. In *T4* , and *T5*, 100% of the *required parking* may be provided off-site by purchase or lease from a *civic parking reserve* or private parking lot or structure within 800 feet of the *lot*.

134.286.5.10.2 PARKING ACCESS

- a. Parking shall be accessed by *alleys* or *rear lanes* where available.
- b. Garages may be accessed by *driveways* from the *principal frontage* or *secondary frontage* by *right* in *T3* and by *warrant* in *T4*.
- c. *Driveways* shall be limited to 10 feet in width in the *first lot layer*. Portions of *driveways* in the *first lot layer* may not be used for parking.
- d. Vehicular entrances to parking lots and *parking structures* shall be no wider than 24 feet at the *frontage*.
- e. Pedestrian access to parking lots and *parking structures* shall be directly to a *frontage line*, not directly into a building, except for underground parking levels.

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134.286.5.10.3 Parking Location

- a. Garages shall be located at the *third lot layer*.
- b. Parking lots and *parking structures* shall be located in the *third lot layer*.
- c. Parking lots and *parking structures* shall be prohibited in *T3*.
- d. Unpaved parking areas may be located within the *first lot layer* by *warrant*.

134.286.5.10.4 Physical Requirements

- a. Parking lots shall be masked from the *frontage* by a building or *streetscreen*.
- b. *Parking structures* shall be masked by *liner buildings* at the first two *stories*.
- c. A minimum of one bicycle rack place shall be provided within the *public* or *private frontage* for every ten vehicular parking spaces.
- d. Curbing should not be installed in parking lots.
- e. For lots on *B-Grids*, open parking areas may be unmasked on the frontage and within the *first lot layer* and *second lot layer* by *warrant*, except for corner lots at intersections with the *A-Grid*.

134.286.5.11 LANDSCAPE STANDARDS

134.286.5.11.1 All planting in the *private frontage* and *private lots* shall consist of noninvasive species.

134.286.5.11.2 One walkway no wider than 5 feet providing access the *principal entrance* shall be permitted at all frontages.

- a. Walkways should consist of pervious materials.

134.286.5.11.3 *Common yard* and *porch & fence frontages* shall be landscaped as follows:

- a. A minimum of two trees shall be planted for each 30 feet of frontage line.
- b. Native plant perennial landscapes should be used in place of turf grass.
- c. One driveway as specified in Section 5.8.1 shall be permitted.

134.286.5.11.4 *Stoop* and *forecourt frontages* shall be landscaped as follows:

- a. Trees and shrubs shall not be required in the *private frontage*. Trees planted in the *private frontage* should match the species of trees in the *public frontage*.
- b. Landscaping, where installed, shall consist of durable species tolerant of soil compaction.
- c. Paving, where installed, shall match the *public frontage* except where paved with pervious materials.
- d. Driveways may be permitted by *warrant* at *stoop frontages* in *T4*.

134.286.5.11.5 *Shopfront*, *gallery*, and *arcade frontages* shall be landscaped as follows:

- a. Trees and shrubs shall not be required in the *private frontage*.
- b. Landscaping, where installed, shall consist of durable species tolerant of soil compaction.
- c. The *private frontage* shall be paved to match the *public frontage*.

134.286.5.11.6 Parking lots shall be landscaped as follows:

- a. One tree shall be planted for every 15 spaces.
- b. Paving should consist of pervious materials where possible.
- c. Landscaped areas should be placed lower than paving, not mounded up.

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- d. Parking lots consisting of less than 50 spaces shall be exempt from landscaping requirements.

134.286.5.12 SIGNAGE STANDARDS

134.286.5.12.1 RESIDENTIAL FUNCTIONS

One address number, no more than **6 INCHES** measured vertically, may be attached to the building in proximity to the *principal entrance* or at a mailbox. Signage may be externally illuminated.

134.286.5.12.2 COMMERCIAL FUNCTIONS

- a. Signage shall be externally illuminated, except that signage within the *shopfront* glazing may be neon lit.
- b. One *blade sign* for each ground floor business, no more than 6 square feet each, may be permanently installed perpendicular to the *facade*. *Blade signs* shall clear 8 feet above the Sidewalk. Businesses on *corner lots* may install one *blade sign* per *frontage*.
- c. One external permanent *sign band* may be applied to the *facade* of each building, not exceed 3 feet in height.
- d. Awnings may include signage in the form of text along the flap, no taller than 6 inches and text or graphics on the top, printed or applied to the fabric.
- e. One window sign for each business, no more than 9 square feet, may be installed within the store interior in neon tubing or applied directly to the glazing. Businesses on *corner lots* may install one window sign per *frontage*. Opaque signboards are prohibited.

134.286.5.13 NONCONFORMITIES

134.286.5.13.1 Existing buildings and appurtenances that do not conform with the provisions of this Section may continue in such use until a *substantial modification* is requested, at which time the RC shall determine the provisions of this section that shall apply. *Substantial modifications* and *nonconformities* exclude the following:

- a. Alterations made within a three year period of the adoption of this Section.
- b. Interior alterations to a single family residence retaining its existing use.

134.286.5.13.2 The temporary or illegal use of property shall not be sufficient to establish the existence of a nonconformity or to create rights in the continuation of a *nonconformity*.

134.286.5.13.3 The existence of a *nonconformity* shall not be used as a reason to add new uses, structures, or site improvements that are not allowed by the regulations of the *transect zone* in which it is located.

134.286.5.13.4 Where buildings exist on adjacent lots, the RC may require that a proposed building match the setbacks and heights of adjacent buildings rather than the the provisions of this Section.

134.286.5.13.5 Any addition to or modification of a property located on the Local Register of Historic Places shall be subject to approval by the Historic Preservation Commission prior to review by the *RC*.

134.286.5.13.6 The modification of an existing building shall not require the provision of (a) parking in addition to that existing nor (b) on-site storm water detention or retention in addition to that existing.

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134.286.5.14 SPECIAL REQUIREMENTS

- 134.286.5.14.1 To the extent that a *regulating plan* designates any of the following *special requirements*, standards shall be applied as follows:
- a. Buildings along the *B-Grid* may be more readily considered for *warrants* allowing automobile-oriented standards.
 - b. A *mandatory or recommended retail frontage* designation requires or advises that a building provide a *shopfront* at sidewalk level along the entire length of its *private frontage*. The *shopfront* may be combined with an *awning, gallery, or arcade frontage*.
 - c. A *mandatory or recommended gallery frontage* designation requires or advises that a building provide a *gallery frontage* along the entire length of its *private frontage*.
 - d. A *mandatory or recommended arcade frontage* designation requires or advises that a building provide a *arcade frontage* along the entire length of its *private frontage*.
 - e. A *mandatory or recommended porchfront* designation requires or advises that a building provide a *porch* in the *private frontage*.
 - f. A *build-to line* requires the placement of the building *facade* along the line. *Forecourts* may recess a building entrance from the *build-to line*.
 - g. A *coordinated frontage* designation requires that the *private frontage* be coordinated with the *public frontage* as a single, coherent landscape and paving design.
 - h. A *mandatory or recommended terminated vista* designation requires or advises that the building be provided with architectural articulation of a type and character that responds visually to its axial location, as approved by the RC.
 - i. A *cross block passage* designation requires that a minimum 8-foot-wide pedestrian access be reserved between buildings.
 - j. A *building of value* designation requires that the building or structure may be altered or demolished only in accordance with Municipal Preservation Standards and Protocols.

134.286.5.15 BUILDING MATERIALS AND CONFIGURATION

- 134.286.5.15.1 Where multiple exterior materials are used on a single building, they shall only be combined on each *facade* horizontally, with the heavier material below the lighter.
- 134.286.5.15.2 Fences, walls, or other suitable visual screens a minimum of 6 feet in height shall be provided along side lot lines, except where both adjoining lot areas are used for surface parking, outdoor commercial uses or community gardens. Streetscreens shall be constructed of a material matching the adjacent building *facade*.
- 134.286.5.15.3 Building mechanical equipment and refuse storage shall not be located along *frontages*.
- 134.286.5.15.4 Clotheslines shall not be located along *frontages*.
- 134.286.5.15.5 All openings, including porches, galleries, doors and windows, with the exception of *shopfronts*, shall be square or vertical in proportion.
- a. Doors and windows that operate as sliders are prohibited along *frontages*. Doors and windows that operate as sliders at *shopfronts* may be approved by *warrant*.
 - b. Glazed openings above the first story shall not exceed 50% of the total building wall area, with each *facade* being calculated independently.

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- c. Exterior shutters, if installed, shall be operable and sized to cover the entire window when closed.
 - 134.286.5.15.6 Finished floor elevation at the *principal frontage* of *residential* uses shall be twenty (20) inches minimum from the average sidewalk grade.
 - a. Entrances to upper floor *residential* uses in *mixed-use* buildings may be at sidewalk grade.
 - 134.286.5.15.7 Porch floors shall be of wood plank, concrete slab, or stone. Synthetic materials are prohibited.
 - 134.286.5.15.8 Galleries may be supported by wrought iron or metal posts.
 - 134.286.5.15.9 Exterior finish may be wood or cementitious clapboard in *T4* and *T3*. Stucco can only be used as an accent material in *T5* and *T6*. Brick may be used in all *t-zones*.
 - a. All exposed exterior wood shall be painted.
 - 134.286.5.15.10 Roofs shall be symmetrically pitched with a minimum angle 6 in 12. Low-slope (flat) roofs shall be permitted in *T4* and *T5*.
 - a. Roofing material shall be high albedo.
 - b. Rooftop equipment shall be screened in a manner consistent with the architectural design of the building along frontages.
 - 134.286.5.15.11 Photo voltaic (PV) systems along *frontages* shall be flexible panel type or building integrated photo voltaic (BIPV), attached directly to the roofing material, PV roofing shingles, or other conducting system that applies directly to roofing material or sheathing with less than one half inch average vertical dimension or integrated into building shading devices.
- 134.286.5.16 SUPPLEMENTARY STANDARDS**
- a. Building and site plans shall be subject to additional regulations as indicated in the Mableton Lifelong Communities Overlay.

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TABLE 5A. BUILDING DISPOSITION GENERAL		
T2	<p>a. Edgeyard: A disposition where the building occupies the center of its <i>lot</i> with <i>setbacks</i> on all sides. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed <i>backbuilding</i> and <i>outbuilding</i>.</p> <p>Building Types: Single-family detached, multi-family detached</p>	
T3		
T4		
T4	<p>b. Sideyard: A disposition where the building occupies one side of the <i>lot</i> with the <i>setback</i> to the other side. If the adjacent building is similar with a blank side wall, the yard is quite private.</p> <p>Building Types: Single-family detached, single-family semi-detached, multi-family detached, mixed-use building.</p>	
T5		
T4	<p>c. Rearyard: A disposition where the building occupies the full <i>frontage</i>, leaving the rear of the <i>lot</i> as the sole yard.</p> <p>Building Types: Single-family detached, single-family semi-detached, multi-family detached, multi-family attached, mixed-use building.</p>	
T5		
T4	<p>d. Courtyard: A disposition where the building occupies the boundaries of its <i>lot</i> while internally defining one or more private space.</p> <p>Building Types: Single-family attached, multi-family attached, mixed-use building.</p>	
T5		
SD	<p>e. Specialized: A building that is not subject to categorization such as <i>civic buildings</i>. Buildings dedicated to manufacturing and transportation are often distorted by the trajectories of machinery.</p>	

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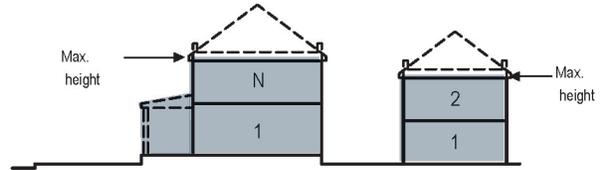
TABLE 5B. T3 BUILDING DISPOSITION AND CONFIGURATION



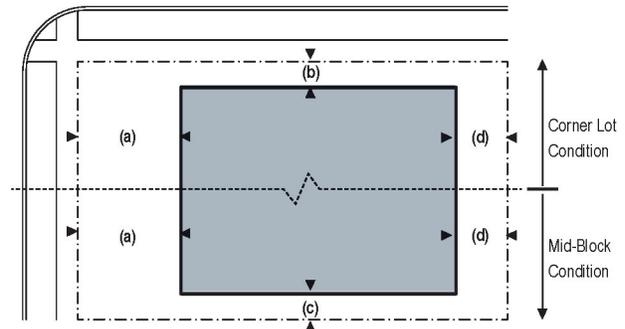
BUILDING FUNCTION	
Residential	restricted use
Lodging	restricted use
Office	restricted use
Retail	restricted use
BUILDING CONFIGURATION	
Principal Building	2 stories max.
Outbuilding	2 stories max.
Structured Parking	not applicable
LOT OCCUPATION	
Lot Width	54 ft min 260 ft max
Lot Coverage	60% max
BUILDING DISPOSITION	
Edgeyard	permitted
Sideyard	not permitted
Rearyard	not permitted
Courtyard	not permitted
SETBACKS - PRINCIPAL BUILDING	
(a) Front Setback Principal	24 ft. min., 36 ft. max.
(b) Front Setback Secondary	12 ft. min.
(c) Side Setback	12 ft. min.
(d) Rear Setback	12 ft. min.*
Frontage Buildout	40% min at setback
SETBACKS - OUTBUILDING	
(e) Front Setback	20 ft. min. + bldg. setback
(f) Side Setback	3 ft. min. or 6 ft at corner
(g) Rear Setback	3 ft. min.

*or 15 ft. from center line of alley

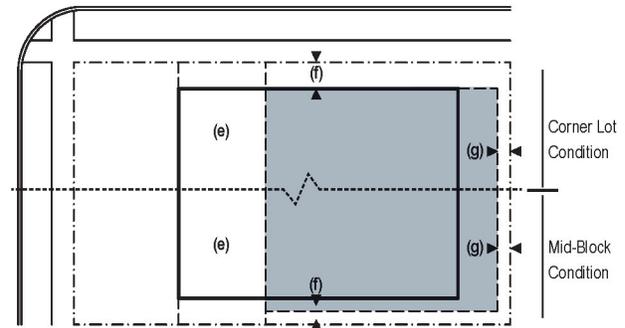
"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums



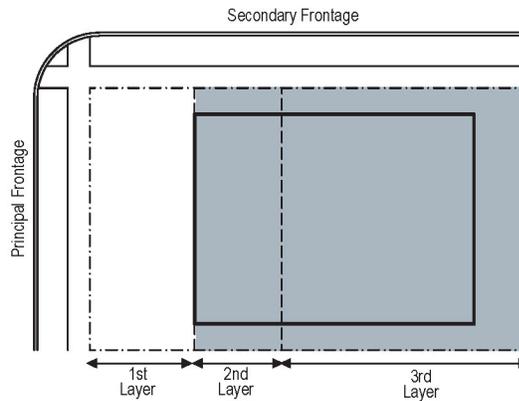
BUILDING HEIGHT



PRINCIPAL BUILDING SETBACKS



OUTBUILDING SETBACKS

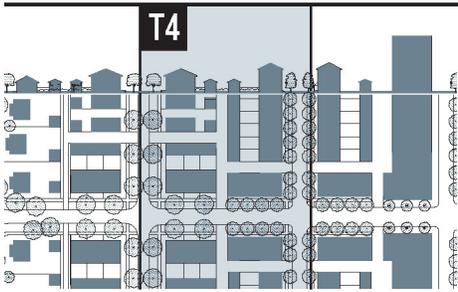


LOT LAYERS

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TABLE 5B. T4 BUILDING DISPOSITION AND CONFIGURATION



BUILDING FUNCTION	
Residential	limited use
Lodging	limited use
Office	limited use
Retail	limited use

BUILDING CONFIGURATION	
Principal Building	3 stories max.
Outbuilding	2 stories max.
Structured Parking	30 foot max.

LOT OCCUPATION	
Lot Width	18 ft min 120 ft max
Lot Coverage	70% max

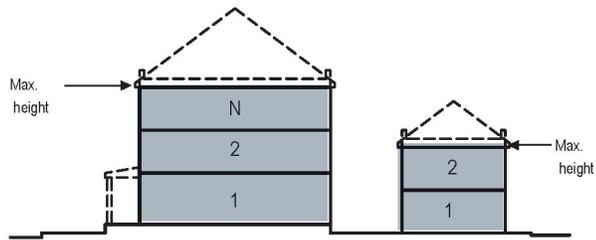
BUILDING DISPOSITION	
Edgeyard	permitted
Sidyard	permitted
Rearyard	permitted
Courtyard	permitted

SETBACKS - PRINCIPAL BUILDING	
(a) Front Setback Principal	6 ft. min. 18 ft. max.
(b) Front Setback Secondary	4 ft. min. 18 ft. max.
(c) Side Setback	0 ft. min.
(d) Rear Setback	3 ft. min.*
Frontage Buildout	60% min at setback

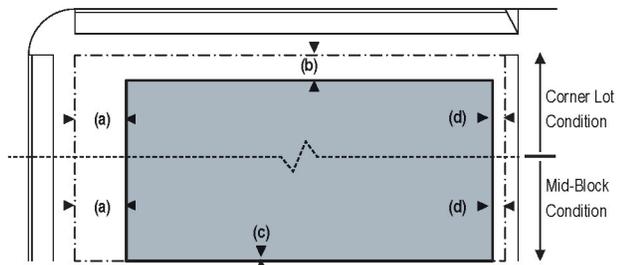
SETBACKS - OUTBUILDING	
(e) Front Setback	20 ft. min. + bldg. setback
(f) Side Setback	0 ft. min. or 3 ft at corner
(g) Rear Setback	3 ft. min

*or 15 ft. from center line of alley

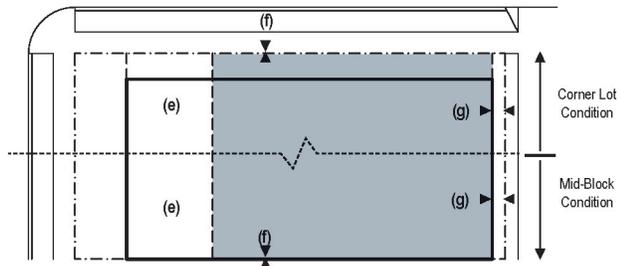
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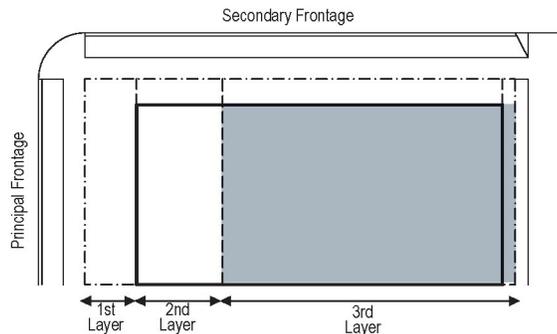
BUILDING HEIGHT



PRINCIPAL BUILDING SETBACKS



OUTBUILDING SETBACKS

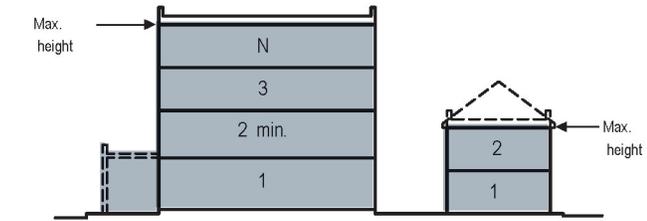
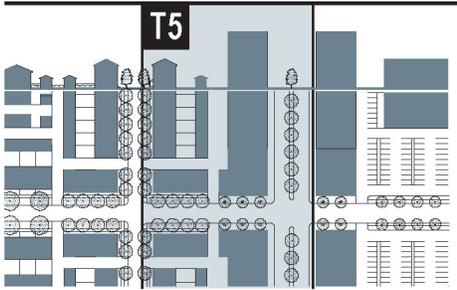


LOT LAYERS

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TABLE 5B. T5 BUILDING DISPOSITION AND CONFIGURATION



BUILDING HEIGHT

BUILDING FUNCTION

Residential	open use
Lodging	open use
Office	open use
Retail	open use

BUILDING CONFIGURATION

Principal Building	5 stories max.
Outbuilding	2 stories max.
Structured Parking	60 foot max.

LOT OCCUPATION

Lot Width	14 ft min 180 ft max
Lot Coverage	70% max

BUILDING DISPOSITION

Edgeyard	not permitted
Sideyard	permitted
Rearyard	permitted
Courtyard	permitted

SETBACKS - PRINCIPAL BUILDING

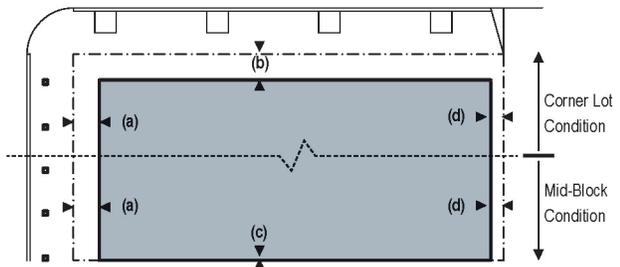
(a) Front Setback Principal	2 ft. min. 12 ft. max.
(b) Front Setback Secondary	2 ft. min. 12 ft. max.
(c) Side Setback	0 ft. min. 24 ft. max.
(d) Rear Setback	3 ft. min.*
Frontage Buildout	80% min. at setback

SETBACKS - OUTBUILDING

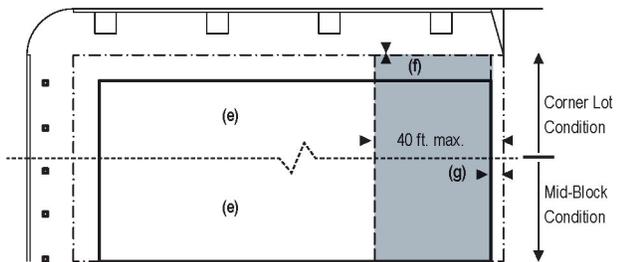
(e) Front Setback	40 ft. max. from rear prop.
(f) Side Setback	0 ft. min. or 2 ft at corner
(g) Rear Setback	3 ft. max

*or 15 ft. from center line of alley

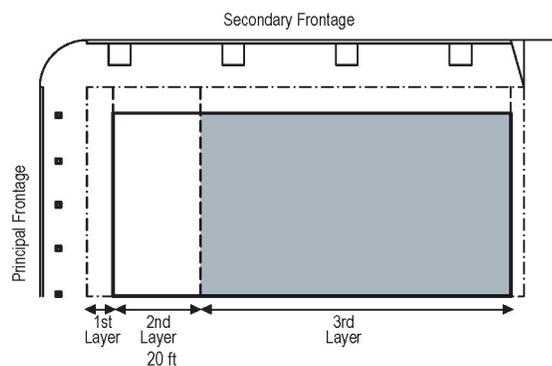
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PRINCIPAL BUILDING SETBACKS



OUTBUILDING SETBACKS



LOT LAYERS

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		SECTION		PLAN	
		PRIVATE FRONTAGE	PUBLIC FRONTAGE	PRIVATE FRONTAGE	PUBLIC FRONTAGE
T2	a. Common Yard: A planted <i>frontage</i> wherein the <i>facade</i> is set back substantially from the <i>frontage line</i> . The front yard created remains unfenced and maybe visually continuous with adjacent yards, supporting a common landscape. The deep <i>setback</i> provides a buffer from the higher speed thoroughfares.				
T3	b. Porch & Fence: A planted <i>frontage</i> wherein the <i>facade</i> is set back from the <i>frontage line</i> with an attached porch permitted to <i>encroach</i> . A fence at the <i>frontage line</i> maintains street spatial definition.				
T4	c. Terrace or Lightwell: A <i>frontage</i> wherein the <i>facade</i> is set back from the <i>frontage line</i> by an elevated terrace or a sunken Lightwell. This type buffers residential use from urban <i>sidewalks</i> and removes the private yard from public <i>encroachment</i> .				
T4	d. Forecourt: A <i>frontage</i> wherein a portion of the <i>facade</i> is close to the <i>frontage line</i> and the central portion is set back. The <i>forecourt</i> created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other <i>frontage types</i> .				
T4	e. Stoop: A <i>frontage</i> wherein the <i>facade</i> is aligned close to the <i>frontage line</i> with the first story elevated from the <i>sidewalk</i> sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing but may be recessed into the volume of the building in where <i>setbacks</i> are shallow.				
T4	f. Shopfront: A <i>frontage</i> wherein the <i>facade</i> is aligned close to the <i>frontage line</i> with the building entrance at <i>sidewalk</i> grade. This type is conventional for <i>retail</i> use. It has a substantial glazing on the <i>sidewalk</i> level and an awning that may overlap the <i>sidewalk</i> .				
T4	g. Gallery: A <i>frontage</i> wherein the <i>facade</i> is aligned close to the <i>frontage line</i> with an attached cantilevered shed or a lightweight colonnade overlapping the <i>sidewalk</i> .				
	h. Arcade: N/A				

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TABLE 5D. BUILDING FUNCTION			
	T3	T4	T5
a. RESIDENTIAL	<p>Restricted Residential: The number of dwellings on each <i>lot</i> is restricted to one within a <i>principal building</i> and one within an <i>accessory building</i>, with 2.0 parking places for each provided that both dwellings were constructed after approval of Cobb County Code Section 134.286. Both dwellings shall be under single ownership.</p>	<p>Limited Residential: The number of dwellings on each <i>lot</i> is limited by the requirement of 1.5 parking places for each dwelling.</p>	<p>Open Residential: The number of dwellings on each <i>lot</i> is limited by the requirement of 1.0 parking place for each dwelling.</p>
b. LODGING	<p>Restricted Lodging: The number of bedrooms available on each <i>lot</i> for <i>lodging</i> is limited by the requirement of 1.0 assigned parking place for each bedroom, up to five, in addition to the parking requirement for the dwelling. The <i>lodging</i> must be owner occupied. Food service may be provided in the morning. The maximum length of stay shall not exceed ten days.</p>	<p>Limited Lodging: The number of bedrooms available on each <i>lot</i> for <i>lodging</i> is limited by the requirement of 1.0 parking place for each bedroom, up to twelve, in addition to the parking requirement for the dwelling. The <i>lodging</i> must be owner occupied. Food service may be provided in the morning. The maximum length of stay shall not exceed fourteen days.</p>	<p>Open Lodging: The number of bedrooms available on each <i>lot</i> for <i>lodging</i> is limited by the requirement of 1.0 assigned parking place for each bedroom. Food service may be provided at all times. The area allocated for food service shall be calculated and provided with parking according to <i>retail</i> function.</p>
c. OFFICE	<p>Restricted Office: The building area available for office use on each <i>lot</i> is restricted to the first <i>story</i> of the <i>principal</i> or the <i>accessory building</i> or in basements. Parking requirements and maximum number of employees and occupants shall be determined by <i>warrant</i>.</p>	<p>Limited Office: The building area available for office use on each <i>lot</i> is limited to the first <i>story</i> of the <i>principal building</i> and <i>accessory building</i>, and by the requirement of 3.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.</p>	<p>Open Office: The building area available for office use on each Lot is limited by the requirement of 2.0 assigned parking places per 1000 square feet of net office space.</p>
d. RETAIL	<p>Restricted Retail: The building area available for <i>retail</i> use is limited to the first <i>story</i> of buildings at corner locations along avenues or drives and by the requirement of 4.0 assigned parking places per 1000 square feet of net <i>retail</i> space in addition to the parking requirement of each dwelling. Food service shall be further limited to seating no more than 20 patrons.</p>	<p>Limited Retail: The building area available for <i>retail</i> use is limited to the first <i>story</i> of buildings at corner locations and by the requirement of 3.0 assigned parking places per 1000 square feet of net <i>retail</i> space in addition to the parking requirement of each dwelling. Food service shall be further limited to seating no more than 40 patrons.</p>	<p>Open Retail: The building area available for <i>retail</i> use is limited by the requirement of 2.0 assigned parking places per 1000 square feet of net <i>retail</i> space. <i>Retail</i> spaces under 1500 square feet are exempt from parking requirements.</p>
e. CIVIC	See Table 5F	See Table 5F	See Table 5F
f. OTHER	See Table 5F	See Table 5F	See Table 5F

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Mableton, Georgia

TABLE 5E. SPECIFIC FUNCTION AND USE											
	T2	T3	T4	T5	SD		T2	T3	T4	T5	SD
a. RESIDENTIAL						f. OTHER: AUTOMOTIVE					
MIXED USE BUILDING		□	■	■	□	GAS STATION	□			□	■
MULTI-FAMILY RESIDENTIAL		□	■	■	□	AUTOMOBILE SERVICE				□	■
SINGLE FAMILY RESIDENTIAL		■	■	■		TRUCK MAINTENANCE				□	■
SENIOR HOUSING		■	■	■		DRIVE -THROUGH FACILITY				□	■
ACCESSORY UNIT	■	■	■	■		f. OTHER: CIVIL SUPPORT					
b. LODGING						CEMETERY	■	□	□		■
HOTEL (NO ROOM LIMIT)				■	□	FUNERAL HOME			■	■	■
INN (UP TO 12 ROOMS)	□		■	■		HOSPITAL				□	■
BED & BREAKFAST (UP TO 5 ROOMS)	□	■	■	■		MEDICAL CLINIC			□	■	■
SCHOOL DORMITORY			□	□	□	f. OTHER: EDUCATION					
c. OFFICE						COLLEGE				□	■
OFFICE BUILDING			■	■	□	HIGH SCHOOL			□	□	■
LIVE-WORK UNIT		■	■	■	□	TRADE SCHOOL			□	■	■
d. RETAIL						ELEMENTARY SCHOOL		□	■	■	■
OPEN-MARKET BUILDING	□	□	■	■	■	CHILDCARE CENTER	□	□	■	■	□
RETAIL BUILDING			■	■	□	f. OTHER: INDUSTRIAL					
DISPLAY GALLERY			■	■	□	HEAVY INDUSTRIAL FACILITY					■
RESTAURANT			■	■	□	LIGHT INDUSTRIAL FACILITY				□	■
KIOSK			■	■	□	TRUCK DEPOT					■
PUSH CART				■	□	LABORATORY FACILITY				□	■
e. AGRICULTURE						CREMATION FACILITY					■
GRAIN STORAGE	■				□	WAREHOUSE					■
LIVESTOCK PEN	□				□	PRODUCE STORAGE					■
GREENHOUSE	■	□			□	MINI-STORAGE					■
STABLE	■	□			□	HEAVY MANUFACTURING					■
KENNEL	■	□	□	□	□	LIGHT MANUFACTURING			□	■	■
GARDEN (PRIVATE FRONTAGE)		■	■		□						
BEE KEEPING	■	■	■		□						

* May Include Senior Housing or Co-housing

- BY RIGHT
- BY WARRANT

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Mableton, Georgia

TABLE 5F. PARKING REQUIREMENTS AND STANDARDS

REQUIRED PARKING				
	T2	T3	T4	T5
RESIDENTIAL *	2.0 / dwelling	2.0 / dwelling	1.5 / dwelling	1.0 / dwelling
LODGING	by warrant	1.0 / bedroom	1.0 / bedroom	1.0 / bedroom
OFFICE	by warrant		3.0 / 1000 sq. ft.	2.0 / 1000 sq. ft.
RETAIL	by warrant		3.0 / 1000 sq. ft.	2.0 / 1000 sq. ft.
CIVIC	To be determined by warrant			
OTHER	To be determined by warrant			

* When Senior Housing or Co-housing, required residential parking may be reduced in half.

SHARED PARKING TABLE							
	PEAK HOUR	M-F	M-F	M-F	Sat & Sun	Sat & Sun	Sat & Sun
USE	REQUIRED PARKING BY USE	8am - 6pm	6pm - 12am	12am - 8am	8am - 6pm	6pm - 12am	12am - 8am
RESIDENTIAL	n =	60%	100%	100%	80%	100%	100%
LODGING	n =	70%	100%	100%	70%	100%	100%
OFFICE	n =	100%	20%	5%	5%	5%	5%
RETAIL	n =	90%	80%	5%	100%	70%	5%
CIVIC (NON-CHURCH)	n =	100%	20%	5%	10%	10%	5%
CIVIC (CHURCH)	n =	20%	20%	5%	100%	50%	5%
TOTAL REQUIRED	SUM =	SUM =	SUM =	SUM =	SUM =	SUM =	SUM =
ADJUSTED PARKING REQUIREMENT	HIGHEST PEAK HOUR USAGE =						

Note: n = Required parking by use as determined by the required parking table

134.286.6 FORM-BASED BUILDING SCALE STANDARDS FOR MABLETON RCD**134.286.6.1 INTENT**

- 134.286.6.1.1 In accordance with the intent of this Section, this Article regulates the development and modification of buildings and other elements of the built environment within the private *lot*, based on the following premises:
- a. That building regulations should equitably balance the rights of the individual and the interests of the community as a whole.
 - b. That building form individually and collectively defines and supports the public realm.
 - c. That building configuration should support walkability, safe streets, and safe public spaces, creating pedestrian friendly neighborhoods.
 - d. That building scale should define streets and public spaces as rooms, and should vary by context and intensity in coordination with neighboring properties.

134.286.6.2 INSTRUCTIONS

- 134.286.6.2.1 This Article sets forth the standards applicable to the development and modification of buildings and other elements of the built environment within private *lots*, by *transect zone*, in the *community units* to which it applies.
- 134.286.6.2.2 Plans required by this Section are subject to administrative approval by the RC.
- 134.286.6.2.3 Building and site plans submitted for approval shall demonstrate compliance with:
- a. *Density* calculations (Section 134.286.6.3)
 - b. *Transit overlay district* (Section 134.286.6.4)
 - c. *Lot* standards (Section 134.286.6.5)
 - d. *Building disposition* (Section 134.286.6.6)
 - e. *Building configuration* (Section 134.286.6.7)
 - f. *Frontage* standards (Section 134.286.6.8)
 - g. *Building function* (Sections 134.286.6.9)
 - h. Parking standards (Section 134.286.6.10)
 - i. Landscape standards (Section 134.286.6.11)
 - j. Signage standards (Section 134.286.6.12)
 - k. *Nonconformities*, if any (Section 134.286.6.13)
 - l. Special requirements, if any (Section 134.286.6.14)
 - m. Building materials and configuration (Section 134.286.6.15)
 - n. Supplementary standards (Section 134.286.6.16)

134.286.6.3 DENSITY CALCULATIONS

- 134.286.6.3.1 The *base density* of each lot shall be calculated in terms of housing units per acre of *gross lot area*, including the *net lot area* and the area of adjacent *thoroughfares*, *alleys* and *passages* between *lot lines* and centerlines.
- a. *Base density* shall be limited to the following *maximum density* ratios:

T1	T2	T3	T4	T5	T6
N/A	N/A	N/A	24 units / gross acre (1 unit / 1815 sf lot area)	56 units / gross acre (1 unit / 778 sf lot area)	80 units per 1 acre gross (1 unit / 544 sf lot area)

- b. The minimum allowable *maximum density* of each lot shall be 1 unit. Fractional remainders greater than one half shall be rounded upwards.
- c. Housing in *outbuildings* shall not count towards *base density*.
- d. *Maximum density* may be modified by *transit overlay district (TOD)* according to Section 134.286.5.4.

134.286.6.3.2 *Building functions* other than housing (*other functions*) shall count towards *base density* as follows:

- a. *Other functions* shall be counted as housing units at the following ratios:
 - i. For *lodging*: 1 housing unit per 3 lodging bedrooms
 - ii. For *office*: 1 housing unit per 1500 square feet of *office*
 - iii. For *retail*: 1 housing unit per 2000 square feet of *retail*
- b. The number of housing units per *lot* assigned to *other functions* shall be limited to the following percentages of the allowable *maximum density*.

T1	T2	T3	T4	T5	T6
N/A	N/A	N/A	30%	70%	80%

134.286.6.4 TRANSIT OVERLAY DISTRICT

134.286.6.4.1 Any part of an *infill community unit* located within a half-mile of an existing or programmed rail transit or *bus rapid transit (BRT)* station shall be mapped as a *transit overlay district (TOD)* and the provisions of this Section modified as follows.

134.286.6.4.2 The *maximum density* of *transect zones* within the *transit overlay district* shall be increased in the following amounts:

- a. 80% for land within 660 feet of the station
- b. 60% for land within 1,320 feet of the station
- c. 40% for land within 2,640 feet of the station

134.286.6.4.3 *Required parking* within the *transit overlay district* shall be modified as follows:

- a. Land within 660 feet of the station may be exempted from *required parking*.
- b. The *effective parking* provided for land within 1,320 feet of the station may be adjusted upward by a multiplier of 1.5.
- c. The *effective parking* provided for land within 2,640 feet of the station may be adjusted upward by a multiplier of 1.2.

134.286.6.5 LOT STANDARDS

134.286.6.5.1 For the purposes of this Section, each lot shall be composed of three layers according to Table 5B.

- 134.286.6.5.2 The portion of a *lot* *enfronting* a *thoroughfare* or a *passage* shall be designated its *principal frontage*. *Corner lots* shall have designated a *principal frontage* along the *thoroughfare* or *passage* of higher pedestrian importance and a *secondary frontage* along the remaining *frontage*. *Lots*, other than *corner lots*, *enfronting* more than one *thoroughfare* or *passage* shall have their frontages determined by *warrant* and may be subject to more than one *principal frontage*.
- 134.286.6.5.3 Any portion of a *lot* mapped with a mandatory or recommended *infill thoroughfare* shall consider the new right-of-way as an access easement. Right-of-ways of mandatory or recommended *infill thoroughfares* may qualify as *frontages*. The planning office may determine a discretionary *thoroughfare* designation as an easement and *frontage*.
- 134.286.6.5.4 Newly platted *lots*, subdivisions of existing *lots* and newly assembled *lots* shall not exceed the following *lot* widths as measured along their *principal frontage*:

T1	T2	T3	T4	T5	T6
N/A	by <i>warrant</i>	N/A	14 ft min 120 ft max	14 ft min 120 ft max	14 ft min 500 ft max

- 134.286.6.5.5 *Lots* assembled into one ownership within one *transect zone* may be developed as a single *lot*.
- 134.286.6.5.6 *Lots* assembled into one ownership that encompass more than one *transect zone* shall be developed according to the corresponding *transect zone* regulations for each *lot*. In such cases there shall be no transfer of *density* or use between *transect zones*.
- 134.286.6.5.7 Where *lots* are assembled into one ownership, the side or rear *setbacks* between assembled *lots* may be eliminated.
- 134.286.6.5.8 An existing *lot*, as of the effective date of this Section, that exceeds the maximum *lot* size as set forth in Section 134.286.6.3.4 may be developed as one *lot*.
- 134.286.6.5.9 An existing *lot*, as of the effective date of this Section, that has been assigned more than one *transect zone*, may be developed as one *lot* according to the highest *transect zone* regulation assigned. Such *lots* may be subdivided per Section 134.286.6.3.4 according to the corresponding *transect zone* regulations as assigned within the *lot*.
- 134.286.6.5.10 *Lot coverage* by buildings shall not exceed the maximum percentages by *transect zone* in Table 6B.

134.286.6.6 BUILDING DISPOSITION

- 134.286.6.6.1 Buildings shall be disposed on a *lot* as follows:
 - a. Buildings should be generally disposed by *transect zone* according to Table 6A.
 - b. Two buildings may be built on each *lot*, one *principal building* at the *principal frontage*, and one *outbuilding* except in T6 which is limited to a *principal building*.
 - c. The *facade* of the *principal building* shall be built parallel to a rectilinear *principal frontage* line or to the tangent of a curved *principal frontage* line.
 - d. The *facade* of the *principal building* shall occupy a minimum percentage of the *principal frontage* width within the *front setback*, as specified in Table 6B as *frontage buildout*.
 - e. The *principal entrance* in T5 and T6 shall be on a *frontage line*. *Forecourts* and *recessed stoops* that recess the *principal entrance* from the *frontage line* are permitted.

- 134.286.6.6.2 Buildings shall be setback from the boundaries of their lots by *transect zone* according to Table 6B.
- The *rear setback* for *outbuildings* shall be a minimum of 15 feet measured from the centerline of the *alley*. In the absence of an *alley*, the *rear setback* shall be as shown in Table 6B.
 - Front setback* requirements may be modified by *warrant* to accommodate slopes over ten percent.

134.286.6.7 BUILDING CONFIGURATION

- 134.286.6.7.1 Building height shall be measured in stories for each level above-ground. Stories may not exceed 14 feet in height.
- 134.286.6.7.2 Ground floor *commercial functions* shall have a minimum story height of 11 feet and a maximum of 25 feet. A single floor level exceeding 18 feet at ground level shall be counted as two (2) stories.
- 134.286.6.7.3 Ground floor *residential* or *lodging functions* should be raised a minimum of 2 feet from average *sidewalk grade* at the *principal frontage*.
- Access to accessory units in raised basements and upper floor *residential* uses in *mixed-use* buildings may be at *sidewalk grade*.
- 134.286.6.7.4 Height limits do not apply to *attics* or raised basements, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads.
- 134.286.6.7.5 For free standing *parking structures*, building height shall be measured in feet according to Table 6B.
- 134.286.6.7.6 For *parking structures* attached to a building or buildings for at least 50% of their perimeter, *stories* may exceed the limit for *parking structure* height provided they not exceed the *eave* height of the attached building or buildings.
- 134.286.6.7.7 The habitable area of an *accessory unit* within a *principal building* or an *outbuilding* shall not exceed 600 square feet.

134.286.6.8 FRONTAGE STANDARDS

134.286.6.8.1 PRIVATE FRONTAGES GENERAL

- The *first lot layer* shall contain the *private frontage*, configured by *transect zone* according to Table 6C.
- Lots* *enfronting* two or more *thoroughfares* or *passages* shall have *private frontages* along each *thoroughfare*. Prescriptions for the second and third *layers* pertain only to the *principal frontage*. Prescriptions for the first *layer* pertain to all *frontages*.
- Balconies and bay windows may *encroach* into the *first lot layer* up to 60% in *T4* and 100% in *T5* and *T6*.
- Loading docks and service areas may be permitted in *T5* and *T6* on *frontages* by *warrant*.
- In the absence of a building *facade* along any part of a *frontage line* in *T5* or *T6*, a *streetscreen* shall be built coplanar with the *facade*. *Streetscreens* shall be between 6 and 8 feet in height and have openings no larger than necessary to allow automobile and pedestrian access.
- Ground floor *commercial functions* shall provide a *shopfront frontage* at minimum.

134.286.6.8.2 PORCH AND FENCE FRONTAGES

- a. Hedges and masonry walls may be located along *frontage lines* and shall be limited to a maximum height of 8 feet.
- b. *Porches* may *encroach* into the *first lot layer* up to 100% of its depth.
- c. *Porches* shall be no less than 4 feet deep.

134.286.6.8.3 **TERRACE AND LIGHTWELL FRONTAGES**

- a. *Terrace* and *lightwell frontages* may *encroach* into the *first lot layer* up to 100% of its depth.
- b. *Terraces* should be raised a minimum of 18 inches from the average sidewalk grade at the *frontage*.

134.286.6.8.4 **FORECOURT FRONTAGES**

- a. *Forecourts* shall be combined with *terrace, lightwell, stoop, shopfront, gallery, or arcade frontages*.
- b. *Forecourts* may recess from the frontage line a maximum of 15 feet for pedestrian *forecourts* or a maximum of 30 feet for vehicular *forecourts*.
- c. Vehicular *forecourts* may not be paved in asphalt and should be designed in coordination with the *public frontage*.
- d. *Driveways* within *forecourts* shall be limited to 20 feet in width. Portions of the *driveway* in the *public frontage* shall be limited to 12 feet and may be paved in stone, brick, cobble, or to match the adjacent *public frontage*.

134.286.6.8.5 **STOOP FRONTAGES**

- a. *Stoops* may *encroach* into the *first lot layer* up to 100% of its depth.
- b. *Stoops* may be recessed into the building *facade* where the *front setback* is less than 4 feet.

134.286.6.8.6 **SHOPFRONT FRONTAGES**

- a. *Shopfronts* may be freestanding or combined with *gallery or arcade frontages*.
- b. *Shopfronts* shall be glazed with clear glass for no less than 70% of the ground floor at *principal and secondary frontages*.
- c. *Awnings* may *encroach* into the *first lot layer* up to 100% of its depth and may *encroach* into the *public frontage* to within two feet of the curb.
- d. *Awnings* that *encroach* into the *public frontage* shall provide a minimum 8 foot wide clear path and project horizontally from the *facade* a minimum of 10 feet.
- e. *Awnings* may be fixed or movable and shall span a minimum of 80% of the frontage width without gaps.

134.286.6.8.7 **GALLERY AND ARCADE FRONTAGES**

- a. *Gallery* and *arcade frontages* shall provide a minimum 10 foot wide *walkway* and should *encroach* into the *public frontage* to within two feet of the curb.
- b. *Galleries* and *arcades* shall provide a minimum vertical clearance of 9 feet and project horizontally from the *facade* a minimum of 10 feet.
- c. *Public planting* and *public lighting* may be omitted where *galleries* or *arcades* *encroach* into the *public frontage*.
- d. A *gallery* or *arcade frontage* may be combined with a *shopfront*.

134.286.6.9 **BUILDING FUNCTION**

- a. *Buildable density* and intensity of use shall be determined by *transect zone* on a per *lot* basis by the *effective parking* provided and the *maximum density* allowable in the *community unit*.
- b. Building use shall be limited to the allowable *building functions* and *specific functions* by *transect zone* according to Tables 5D and 5E.
- c. Permitted *commercial functions* other than *office* and *lodging* shall be limited to the ground floor. Units accessed by a *lightwell frontage* in *T5* and *T6* may be permitted a *commercial function* in the basement level in addition to the area located on the ground floor.
- d. *Manufacturing functions* permitted in Table 6E may be located in *outbuildings* by right and in *principal buildings* by *warrant*.

134.286.6.10 PARKING STANDARDS

134.286.6.10.1 PARKING REQUIREMENTS

- a. Parking requirements shall be determined by use and *transect zone* according to Tables 5D and 5F.
 - i. *Accessory units* shall be exempt from parking requirements.
 - ii. *Liner buildings* less than 30 feet deep and no more than two *stories* shall be exempt from parking requirements.
- b. Parking provided shall include the actual parking spaces provided within the *lot* and along the parking lane corresponding to *lot frontages*.
- c. The *required parking* may be adjusted downward according to the *shared parking table* in Table 6F. *Shared parking* may be applied as follows:
 - i. The *shared parking table* is available for two or more *functions* within a single *lot* or within one *block* provided a shared parking facility as designated in 134.286.6.10.1.d.
 - ii. The adjusted *required parking* resulting from the *shared parking table* shall be calculated as the highest *shared parking requirement* resulting from the completed *shared parking table*.
- d. In *T4*, *T5*, and *T6*, 100% of the *required parking* may be provided by purchase or lease from a *civic parking reserve* or private parking lot or structure within 800 feet of the *lot*.

134.286.6.10.2 PARKING ACCESS

- a. Parking shall be accessed by *alleys* where available.
- b. Vehicular entrances to parking lots and *parking structures* shall be no wider than 24 feet at the *frontage*.
- c. Pedestrian access to parking lots and *parking structures* shall be directly to a *frontage line*, not directly into a building, except for underground parking levels.

134.286.6.10.3 PARKING LOCATION

- a. Garages shall be located at the *third lot layer*.
- b. Parking lots and *parking structures* shall be located in the *third lot layer*.

134.286.6.10.4 PHYSICAL REQUIREMENTS

- a. Parking lots shall be masked from the *frontage* by a building or *streetscreen*.
- b. *Parking structures* shall be masked by *liner buildings* at the first two *stories*.
- c. A minimum of one bicycle rack place shall be provided within the *public* or *private frontage* for every ten vehicular parking spaces.

- d. Curbing should not be installed in parking lots.
- e. For lots on *B-Grids*, open parking areas may be unmasked on the frontage and within the *first lot layer* and *second lot layer* by *warrant*, except for corner lots at intersections with the *A-Grid*.

134.286.6.11 LANDSCAPE STANDARDS

- 134.286.6.11.1 All planting in the *private frontage* and private *lots* shall consist of noninvasive species.
- 134.286.6.11.2 One walkway no wider than 5 feet providing access the *principal entrance* shall be permitted at all frontages.
 - a. Walkways should consist of pervious materials.
- 134.286.6.11.3 *Porch & fence frontages* shall be landscaped as follows:
 - a. A minimum of two trees shall be planted for each 30 feet of frontage line.
 - b. Native plant perennial landscapes should be used in place of turf grass.
- 134.286.6.11.4 *Stoop and forecourt frontages* shall be landscaped as follows:
 - a. Trees and shrubs shall not be required in the *private frontage*. Trees planted in the *private frontage* should match the species of trees in the *public frontage*.
 - b. Landscaping, where installed, shall consist of durable species tolerant of soil compaction.
 - c. Paving, where installed, shall match the *public frontage* except where paved with pervious materials.
- 134.286.6.11.5 *Shopfront, gallery, and arcade frontages* shall be landscaped as follows:
 - a. Trees and shrubs shall not be required in the *private frontage*.
 - b. Landscaping, where installed, shall consist of durable species tolerant of soil compaction.
 - c. The *private frontage* shall be paved to match the *public frontage*.
- 134.286.6.11.6 Parking lots shall be landscaped as follows:
 - a. One tree shall be planted for every 25 spaces.
 - b. Paving should consist of pervious materials where possible.
 - c. Landscaped areas should be placed lower than paving, not mounded up.
 - d. Parking lots consisting of less than 50 spaces shall be exempt from landscaping requirements.

134.286.6.12 SIGNAGE STANDARDS

134.286.6.12.1 RESIDENTIAL FUNCTIONS

One address number, no more than 6 inches measured vertically, may be attached to the building in proximity to the *principal entrance* or at a mailbox. Signage may be externally illuminated.

134.286.6.12.2 COMMERCIAL FUNCTIONS

- a. Signage shall be externally illuminated, except that signage within the *shopfront* glazing may be neon lit.
- b. One *blade sign* for each ground floor business, no more than 6 square feet each, may be permanently installed perpendicular to the *facade*. *Blade signs* shall clear 8 feet above the Sidewalk. Businesses on *corner lots* may install one *blade sign* per *frontage*.

- c. One external permanent *sign band* may be applied to the *facade* of each building, not exceed 3 feet in height.
- d. Awnings may include signage in the form of text along the flap, no taller than 6 inches and text or graphics on the top, printed or applied to the fabric.
- e. One *window sign* for each business, no more than 9 square feet, may be installed within the store interior in neon tubing or applied directly to the glazing. Businesses on *corner lots* may install one window sign per *frontage*. Opaque signboards are prohibited.

134.286.6.13 NONCONFORMITIES

- 134.286.6.13.1 Existing buildings and appurtenances that do not conform with the provisions of this Section may continue in such use until a *substantial modification* is requested, at which time the RC shall determine the provisions of this section that shall apply. *Substantial modifications* and *nonconformities* exclude the following:
- a. Alterations made within a three year period of the adoption of this Section.
 - b. Interior alterations to a single family residence retaining its existing use.
- 134.286.6.13.2 The temporary or illegal use of property shall not be sufficient to establish the existence of a nonconformity or to create rights in the continuation of a *nonconformity*.
- 134.286.6.13.3 The existence of a *nonconformity* shall not be used as a reason to add new uses, structures, or site improvements that are not allowed by the regulations of the *transect zone* in which it is located.
- 134.286.6.13.4 Where buildings exist on adjacent lots, the RC may require that a proposed building match the setbacks and heights of adjacent buildings rather than the the provisions of this Section.
- 134.286.6.13.5 Any addition to or modification of a property located on the Local Register of Historic Places shall be subject to approval by the Historic Preservation Commission prior to review by the *RC*.
- 134.286.6.13.6 The modification of an existing building shall not require the provision of (a) parking in addition to that existing nor (b) on-site storm water detention or retention in addition to that existing.

134.286.6.14 SPECIAL REQUIREMENTS

- 134.286.6.14.1 To the extent that a *regulating plan* designates any of the following *special requirements*, standards shall be applied as follows:
- a. Buildings along the *B-Grid* may be more readily considered for *warrants* allowing automobile-oriented standards.
 - b. A *mandatory* or *recommended retail frontage* designation requires or advises that a building provide a *shopfront* at sidewalk level along the entire length of its *private frontage*. The *shopfront* may be combined with an *awning*, *gallery*, or *arcade frontage*.
 - c. A *mandatory* or *recommended gallery frontage* designation requires or advises that a building provide a *gallery frontage* along the entire length of its *private frontage*.
 - d. A *mandatory* or *recommended arcade frontage* designation requires or advises that a building provide a *arcade frontage* along the entire length of its *private frontage*.

- e. A *mandatory* or *recommended porchfront* designation requires or advises that a building provide a *porch* in the *private frontage*.
- f. A *build-to line* requires the placement of the building *facade* along the line. *Forecourts* may recess a building entrance from the *build-to line*.
- g. A *coordinated frontage* designation requires that the *private frontage* be coordinated with the *public frontage* as a single, coherent landscape and paving design.
- h. A *mandatory* or *recommended terminated vista* designation requires or advises that the building be provided with architectural articulation of a type and character that responds visually to its axial location, as approved by the RC.
- i. A *cross block passage* designation requires that a minimum 8-foot-wide pedestrian access be reserved between buildings.
- j. A *building of value* designation requires that the building or structure may be altered or demolished only in accordance with Municipal Preservation Standards and Protocols.

134.286.6.15 BUILDING MATERIALS AND CONFIGURATION

- 134.286.6.15.1 Where multiple exterior materials are used on a single building, they shall only be combined on each *facade* horizontally, with the heavier material below the lighter.
- 134.286.6.15.2 Fences, walls, or other suitable visual screens a minimum of 6 feet in height shall be provided along side lot lines, except where both adjoining lot areas are used for surface parking, outdoor commercial uses or community gardens. Streetscreens shall be constructed of a material matching the adjacent building *facade*.
- 134.286.6.15.3 Building mechanical equipment and refuse storage shall not be located along *frontages*.
- 134.286.6.15.4 Clotheslines shall not be located along *frontages*.
- 134.286.6.15.5 All openings, including porches, galleries, doors and windows, with the exception of *shopfronts*, shall be square or vertical in proportion.
 - a. Doors and windows that operate as sliders are prohibited along *frontages*. Doors and windows that operate as sliders at *shopfronts* may be approved by *warrant*.
 - b. Glazed openings above the first story shall not exceed 50% of the total building wall area, with each *facade* being calculated independently.
 - c. Exterior shutters, if installed, shall be operable and sized to cover the entire window when closed.
- 134.286.6.15.6 Porch floors shall be of wood plank, concrete slab, or stone. Synthetic materials are prohibited.
- 134.286.6.15.7 Galleries may be supported by wrought iron or metal posts.
- 134.286.6.15.8 Exterior finish may be wood or cementitious clapboard in *T4* and *T3*. Stucco may only be used as an accent material in *T5* and *T6*. Brick may be used in all *t-zones*.
 - a. All exposed exterior wood shall be painted.
 - b. Roofs shall be symmetrically pitched with a minimum angle 6 in 12. Low-slope (flat) roofs shall be permitted.
 - c. Roofing material shall be high albedo.
 - d. Rooftop equipment shall be screened in a manner consistent with the architectural design of the building along frontages.

134.286.6.15.9 Photo voltaic (PV) systems along *frontages* shall be flexible panel type or building integrated photo voltaic (BIPV), attached directly to the roofing material, PV roofing shingles, or other conducting system that applies directly to roofing material or sheathing with less than one half inch average vertical dimension or integrated into building shading devices.

134.286.6.16 SUPPLEMENTARY STANDARDS

134.286.6.16.1 Building and site plans shall be subject to additional regulations as indicated in the Mableton Lifelong Communities Overlay.

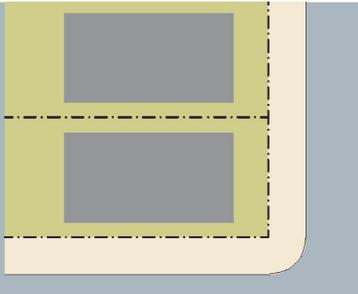
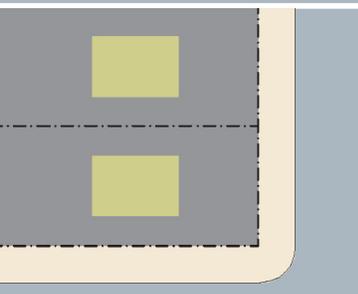
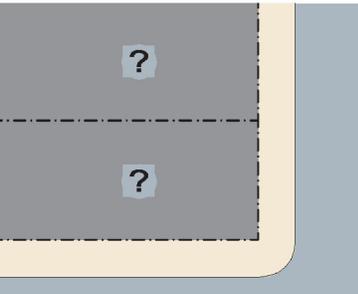
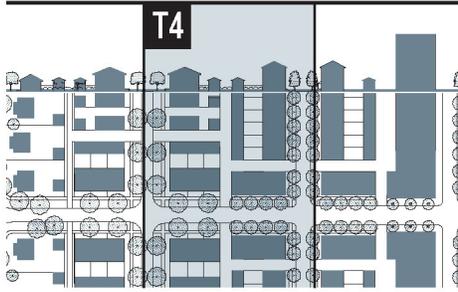
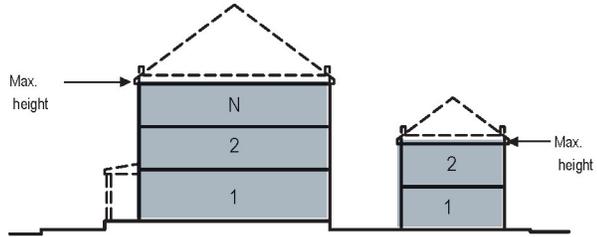
TABLE 6A. BUILDING DISPOSITION GENERAL		
T4	<p>a. Edgeyard: A disposition where the building occupies the center of its lot with setbacks on all sides. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a well-placed <i>backbuilding</i> and <i>outbuilding</i>.</p> <p>Building Types: Single-family detached, multi-family detached</p>	
T4 T5	<p>b. Sideyard: A disposition where the building occupies one side of the lot with the setback to the other side. If the adjacent building is similar with a blank side wall, the yard is quite private.</p> <p>Building Types: Single-family detached, single-family semi-detached, multi-family detached, mixed-use building.</p>	
T4 T5 T6	<p>c. Rearyard: A disposition where the building occupies the full frontage, leaving the rear of the lot as the sole yard.</p> <p>Building Types: Single-family detached, single-family semi-detached, multi-family detached, multi-family attached, mixed-use building.</p>	
T4 T5 T6	<p>d. Courtyard: A disposition where the building occupies the boundaries of its lot while internally defining one or more private space.</p> <p>Building Types: Single-family attached, multi-family attached, mixed-use building.</p>	
SD	<p>e. Specialized: A building that is not subject to categorization such as <i>civic buildings</i>. Buildings dedicated to manufacturing and transportation are often distorted by the trajectories of machinery.</p>	

TABLE 6B. T4 BUILDING DISPOSITION AND CONFIGURATION

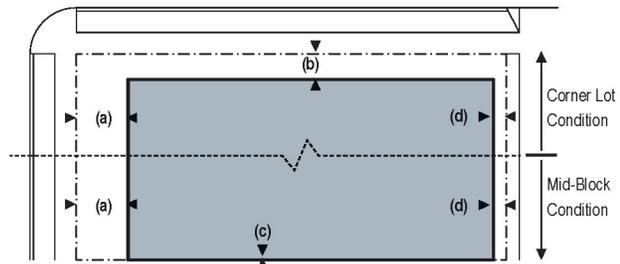


BUILDING FUNCTION	
Residential	limited use
Lodging	limited use
Office	limited use
Retail	limited use
BUILDING CONFIGURATION	
Principal Building	4 stories max.
Outbuilding	2 stories max.
Structured Parking	50 foot max.
LOT OCCUPATION	
Lot Width	14 ft min 120 ft max
Lot Coverage	70% max
BUILDING DISPOSITION	
Edgeyard	permitted
Sideyard	permitted
Rearyard	permitted
Courtyard	permitted
SETBACKS - PRINCIPAL BUILDING	
(a) Front Setback Principal	4 ft. min. 12 ft. max.
(b) Front Setback Secondary	2 ft. min. 12 ft. max
(c) Side Setback	0 ft. min.
(d) Rear Setback	3 ft. min.*
Frontage Buildout	60% min at setback
SETBACKS - OUTBUILDING	
(e) Front Setback	20 ft. min. + bldg. setback
(f) Side Setback	0 ft. min. or 3 ft at corner
(g) Rear Setback	3 ft. min

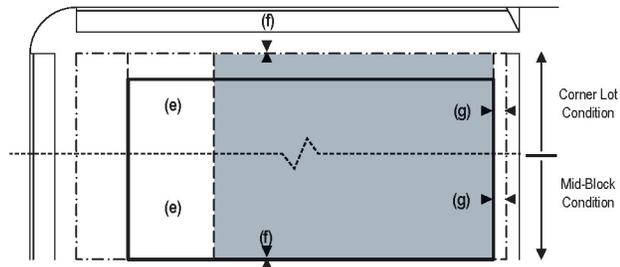
*or 15 ft. from center line of alley
 "N" stands for any Stories above those shown, up to the maximum.
 Refer to metrics for exact minimums and maximums



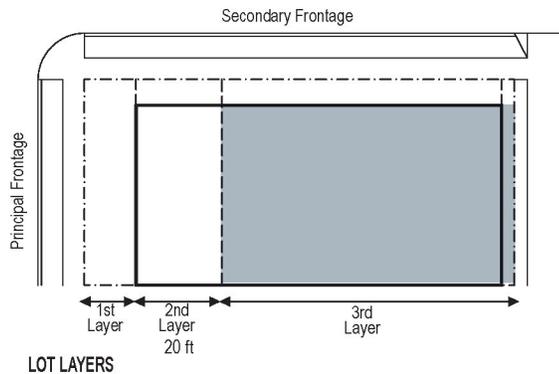
BUILDING HEIGHT



PRINCIPAL BUILDING SETBACKS

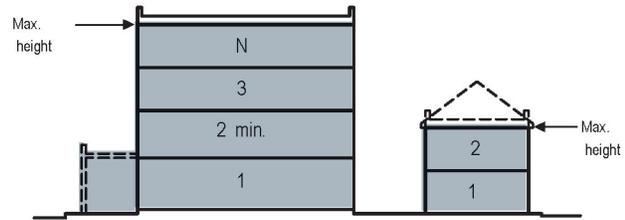
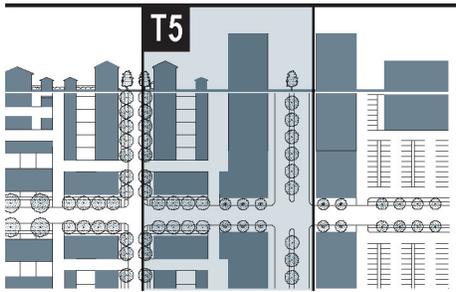


OUTBUILDING SETBACKS



LOT LAYERS

TABLE 6B. T5 BUILDING DISPOSITION AND CONFIGURATION



BUILDING HEIGHT

BUILDING FUNCTION

Residential	open use
Lodging	open use
Office	open use
Retail	open use

BUILDING CONFIGURATION

Principal Building	6 stories max.
Outbuilding	3 stories max.
Structured Parking	70 foot max.

LOT OCCUPATION

Lot Width	14 ft min 180 ft max
Lot Coverage	70% max

BUILDING DISPOSITION

Edgeyard	not permitted
Sideyard	permitted
Rearyard	permitted
Courtyard	permitted

SETBACKS - PRINCIPAL BUILDING

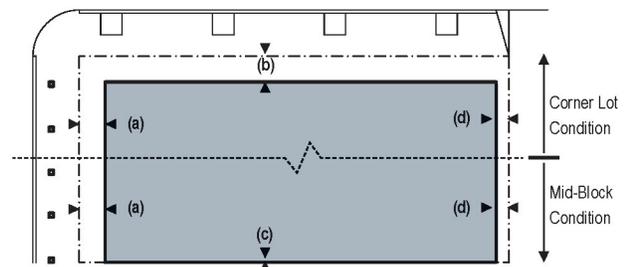
(a) Front Setback Principal	2 ft. min. 8 ft. max.
(b) Front Setback Secondary	2 ft. min. 8 ft. max
(c) Side Setback	0 ft. min. 24 ft. max.
(d) Rear Setback	3 ft. min.*
Frontage Buildout	80% min. at setback

SETBACKS - OUTBUILDING

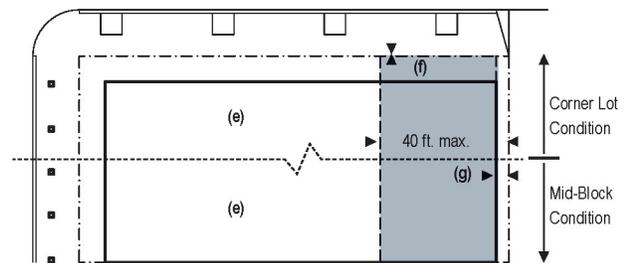
(e) Front Setback	40 ft. max. from rear prop.
(f) Side Setback	0 ft. min. or 2 ft at corner
(g) Rear Setback	3 ft. max

*or 15 ft. from center line of alley

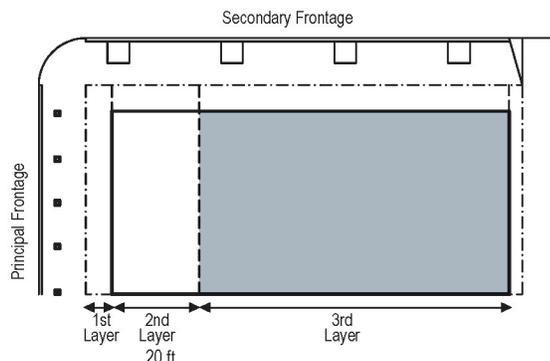
"N" stands for any Stories above those shown, up to the maximum.
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PRINCIPAL BUILDING SETBACKS

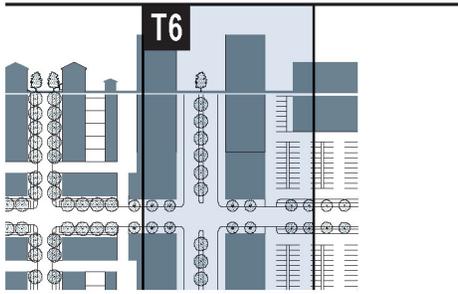


OUTBUILDING SETBACKS



LOT LAYERS

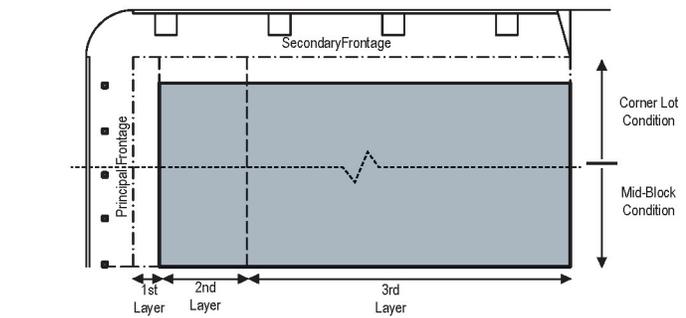
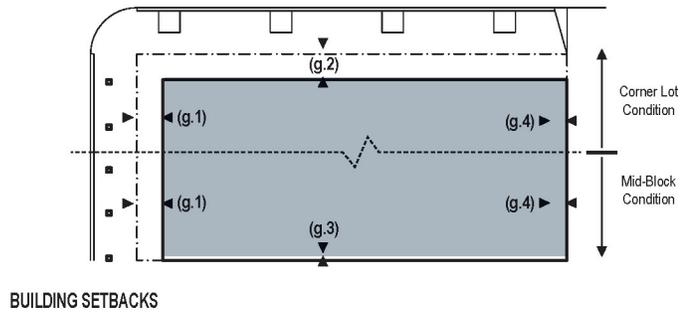
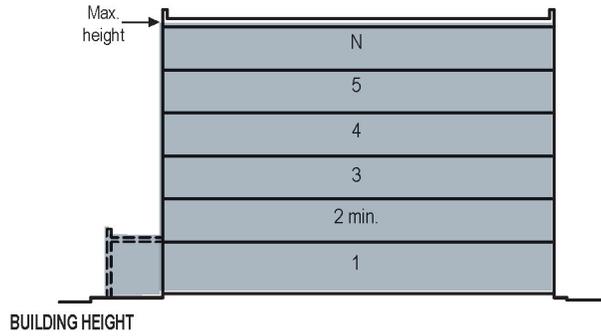
TABLE 6B. T6 BUILDING DISPOSITION AND CONFIGURATION



BUILDING FUNCTION	
Residential	open use
Lodging	open use
Office	open use
Retail	open use
BUILDING CONFIGURATION	
Principal Building	12 stories max.
Outbuilding	n/a
Structured Parking	by warrant
LOT OCCUPATION	
Lot Width	14 ft min 500 ft max
Lot Coverage	90% max
BUILDING DISPOSITION	
Edgeyard	not permitted
Sideyard	not permitted
Rearyard	permitted
Courtyard	permitted
BUILDING SETBACKS	
(a) Front Setback Principal	2 ft. min. 12 ft. max.
(b) Front Setback Secondary	2 ft. min. 12 ft. max.
(c) Side Setback	0 ft. min. 24 ft. max.
(d) Rear Setback	0 ft. min.*
Frontage Buildout	80% min. at setback

*or 15 ft. from center line of alley

"N" stands for any Stories above those shown, up to the maximum.
Refer to metrics for exact minimums and maximums



LOT LAYERS

TABLE 6C - PRIVATE FRONTAGES					
		SECTION		PLAN	
		PRIVATE FRONTAGE	PUBLIC FRONTAGE	PRIVATE FRONTAGE	PUBLIC FRONTAGE
T4	<p>b. Porch & Fence: A planted <i>frontage</i> wherein the <i>facade</i> is set back from the <i>frontage line</i> with an attached porch permitted to <i>encroach</i>. A fence at the <i>frontage line</i> maintains street spatial definition.</p>				
T4	<p>c. Terrace or Lightwell: A <i>frontage</i> wherein the <i>facade</i> is set back from the <i>frontage line</i> by an elevated terrace or a sunken Lightwell. This type buffers residential use from urban <i>sidewalks</i> and removes the private yard from public <i>encroachment</i>.</p>				
T5					
T4	<p>d. Forecourt: A <i>frontage</i> wherein a portion of the <i>facade</i> is close to the <i>frontage line</i> and the central portion is set back. The <i>forecourt</i> created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other <i>frontage types</i>.</p>				
T5					
T6					
T4	<p>e. Stoop: A <i>frontage</i> wherein the <i>facade</i> is aligned close to the <i>frontage line</i> with the first <i>story</i> elevated from the <i>sidewalk</i> sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing but may be recessed into the volume of the building in where <i>setbacks</i> are shallow.</p>				
T5					
T6					
T4	<p>f. Shopfront: A <i>frontage</i> wherein the <i>facade</i> is aligned close to the <i>frontage line</i> with the building entrance at <i>sidewalk</i> grade. This type is conventional for <i>retail</i> use. It has a substantial glazing on the <i>sidewalk</i> level and an awning that may overlap the <i>sidewalk</i>.</p>				
T5					
T6					
T4	<p>g. Gallery: A <i>frontage</i> wherein the <i>facade</i> is aligned close to the <i>frontage line</i> with an attached cantilevered shed or a lightweight colonnade overlapping the <i>sidewalk</i>.</p>				
T5					
T6					
T5	<p>h. Arcade: A colonnade supporting habitable space that overlaps the <i>sidewalk</i>, while the <i>facade</i> at <i>sidewalk</i> level remains at or behind the <i>frontage line</i>.</p>				
T6					

TABLE 6D. BUILDING FUNCTION		
	T4	T5 T6
a. RESIDENTIAL	<p>Limited Residential: The number of dwellings on each <i>lot</i> is limited by the requirement of 1.5 parking places for each dwelling.</p>	<p>Open Residential: The number of dwellings on each <i>lot</i> is limited by the requirement of 1.0 parking place for each dwelling.</p>
b. LODGING	<p>Limited Lodging: The number of bedrooms available on each <i>lot</i> for <i>lodging</i> is limited by the requirement of 1.0 parking place for each bedroom, up to twelve, in addition to the parking requirement for the dwelling. The lodging must be owner occupied. Food service may be provided in the morning. The maximum length of stay shall not exceed fourteen days.</p>	<p>Open Lodging: The number of bedrooms available on each <i>lot</i> for <i>lodging</i> is limited by the requirement of 1.0 assigned parking place for each bedroom. Food service may be provided at all times. The area allocated for food service shall be calculated and provided with parking according to <i>retail</i> function.</p>
c. OFFICE	<p>Limited Office: The building area available for office use on each <i>lot</i> is limited to the first <i>story</i> of the <i>principal building</i> and <i>accessory building</i>, and by the requirement of 2.0 assigned parking places per 1000 square feet of net office space in addition to the parking requirement for each dwelling.</p>	<p>Open Office: The building area available for office use on each <i>Lot</i> is limited by the requirement of 2.0 assigned parking places per 1500 square feet of net office space.</p>
d. RETAIL	<p>Limited Retail: The building area available for <i>retail</i> use is limited to the first <i>story</i> of buildings at corner locations and by the requirement of 2.0 assigned parking places per 1000 square feet of net retail space in addition to the parking requirement of each dwelling. Food service shall be further limited to seating no more than 60 patrons.</p>	<p>Open Retail: The building area available for <i>retail</i> use is limited by the requirement of 2.0 assigned parking places per 1500 square feet of net <i>retail</i> space. <i>Retail</i> spaces under 1500 square feet are exempt from parking requirements.</p>
e. CIVIC	See Table 6F	See Table 6F
f. OTHER	See Table 6F	See Table 6F

TABLE 6E. SPECIFIC FUNCTION AND USE									
	T4	T5	T6	SD		T4	T5	T6	SD
a. RESIDENTIAL					f. OTHER: AUTOMOTIVE				
MIXED USE BUILDING	■	■	■	□	GAS STATION	□	□		■
MULTI-FAMILY RESIDENTIAL	■	■	■	□	AUTOMOBILE SERVICE		□		■
SINGLE FAMILY RESIDENTIAL	■	■	■		TRUCK MAINTENANCE		□		■
SENIOR HOUSING	■	■	■	□	DRIVE -THROUGH FACILITY		□		■
ACCESSORY UNIT	■	■			f. OTHER: CIVIL SUPPORT				
b. LODGING					CEMETERY	□			■
HOTEL (NO ROOM LIMIT)		■	■	□	FUNERAL HOME	■	■	■	■
INN (UP TO 12 ROOMS)	■	■	■		HOSPITAL		□	□	■
BED & BREAKFAST (UP TO 5 ROOMS)	■	■	■		MEDICAL CLINIC	□	■	■	■
SCHOOL DORMITORY	□	□	□	□	f. OTHER: EDUCATION				
c. OFFICE					COLLEGE		□	□	■
OFFICE BUILDING	■	■	■	□	HIGH SCHOOL	□	□	□	■
LIVE-WORK UNIT	■	■	■	□	TRADE SCHOOL	□	■	■	■
d. RETAIL					ELEMENTARY SCHOOL	■	■	■	■
OPEN-MARKET BUILDING	■	■	■	■	CHILDCARE CENTER	■	■	■	□
RETAIL BUILDING	■	■	■	□	f. OTHER: INDUSTRIAL				
DISPLAY GALLERY	■	■	■	□	HEAVY INDUSTRIAL FACILITY				■
RESTAURANT	■	■	■	□	LIGHT INDUSTRIAL FACILITY		□	□	■
KIOSK	■	■	■	□	TRUCK DEPOT				■
PUSH CART		■	■	□	LABORATORY FACILITY		□	□	■
e. AGRICULTURE					CREMATION FACILITY				■
GRAIN STORAGE				□	WAREHOUSE				■
LIVESTOCK PEN				□	PRODUCE STORAGE				■
GREENHOUSE				□	MINI-STORAGE				■
STABLE				□	HEAVY MANUFACTURING				■
KENNEL	□	□		□	LIGHT MANUFACTURING	□	■	■	■
GARDEN (PRIVATE FRONTAGE)	■			□					
BEE KEEPING	■			□					

- by right
- by warrant

TABLE 6F. PARKING REQUIREMENTS AND STANDARDS

REQUIRED PARKING			
	T4	T5	T6
RESIDENTIAL *	1.5 / dwelling	1.5 / dwelling	1.0 / dwelling
LODGING	1.0 / bedroom	1.0 / bedroom	1.0 / bedroom
OFFICE	2.0 / 1000 sq. ft.	2.0 / 1500 sq. ft.	2.0 / 1500 sq. ft.
RETAIL	3.0 / 1000 sq. ft.	2.0 / 1500 sq. ft.	2.0 / 1500 sq. ft.
CIVIC	To be determined by <i>warrant</i>		
OTHER	To be determined by <i>warrant</i>		

*When Senior Housing or Co-housing, required residential parking may be reduced in half.

SHARED PARKING TABLE

	PEAK HOUR	M-F	M-F	M-F	Sat & Sun	Sat & Sun	Sat & Sun
USE	REQUIRED PARKING BY USE	8am - 6pm	6pm - 12am	12am - 8am	8am - 6pm	6pm - 12am	12am - 8am
RESIDENTIAL	n =	60%	100%	100%	80%	100%	100%
LODGING	n =	70%	100%	100%	70%	100%	100%
OFFICE	n =	100%	20%	5%	5%	5%	5%
RETAIL	n =	90%	80%	5%	100%	70%	5%
CIVIC (NON-CHURCH)	n =	100%	20%	5%	10%	10%	5%
CIVIC (CHURCH)	n =	20%	20%	5%	100%	50%	5%
TOTAL REQUIRED	SUM =	SUM =	SUM =	SUM =	SUM =	SUM =	SUM =
ADJUSTED PARKING REQUIREMENT	HIGHEST PEAK HOUR USAGE =						

Note: n = Required parking by use as determined by the required parking table

134.286.7 DEFINITIONS

This Section provides definitions for terms in this Section that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Section, then the CRC shall determine the correct definition. Items in italics refer to other terms defined in this section.

A-Grid: cumulatively, those *thoroughfares* that by virtue of their pre-existing pedestrian-supportive qualities, or their future importance to pedestrian connectivity, are held to the highest standards prescribed by this Code. See *B-Grid*. (Syn: primary grid.)

Accessible Pathway Network: The *accessible pathway network* is a continuous accessible path that runs throughout the entire private and public realm of the *community unit*, including both residential and commercial spaces. The extent and requirements of the *accessible pathway network* are determined by the use and urban context of the various spaces it connects.

Accessory Building: an *outbuilding* with an *accessory unit*.

Accessory Unit: an *apartment* not greater than 600 square feet sharing ownership and utility connections with a *principal building*; it may or may not be within an *outbuilding*. (Syn: ancillary unit)

Affordable Housing: dwellings consisting of rental or for-sale units that have a rent (including utilities) or mortgage payment typically no more than 30% of the income of families earning no more than 80% of median incomes by family size for the county.

Alley: a *thoroughfare* designated to be a secondary means of vehicular access to the rear or side of properties; an Alley may connect to a vehicular driveway located to the rear of *lots* providing access to *outbuildings*, service areas and parking, and containing utility easements.

Apartment: a *residential* unit sharing a building and a *lot* with other units and/or uses; may be for rent, or for sale as a condominium. (Syn: condominium)

Arcade: a *private frontage* principally for *retail* use wherein the *facade* is a colonnade supporting habitable space that overlaps the *sidewalk*, while the *facade* at *sidewalk* level remains at the *frontage line*.

Attic: the interior part of a building contained within a pitched roof structure.

Awning: a fixed or movable shading structure, cantilevered or otherwise entirely supported from a building, used to protect outdoor spaces from sun, rain, and other natural conditions. Awnings are typically used to cover outdoor seating for restaurants and cafes.

B-Grid: cumulatively, those *thoroughfares* that by virtue of their use, location, or absence of pre-existing pedestrian-supportive qualities, may meet a standard lower than that of the *A-Grid*. See *A-Grid*. (Syn: secondary grid.)

BRT: See *bus rapid transit*.

Backbuilding: a single-story structure extending to the rear of a *principal building* and often connected to an *outbuilding*.

Base Density: the number of housing units per acre of *gross lot area* built upon a single *lot* including adjustments for other *functions*. See *density* and *maximum density*.

Bed and Breakfast: an owner-occupied *lodging* type offering 1 to 5 bedrooms, permitted to serve breakfast in the mornings to guests.

Blade Sign: a *sign* made from rigid material mounted perpendicular to a building wall with one side attached or supported by a device extending from a building wall. See Table 7A.

Block: the aggregate of private *lots*, *civic zones*, *passages*, *rear alleys* and *rear lanes*, circumscribed by *thoroughfares*.

Block Face: the aggregate of all the building *facades* on one side of a *block*.

Building Height: the vertical extent of a building measured in *stories*.

Building of Value: a building marked on a *regulating plan* that has certain additional standards associated with it, as determined by the [Municipal Preservation Commission](#).

Build-to Line: a line established within a given *lot* indicating where the outer edge of a building must be located relative to *frontages*.

Bus Rapid Transit: a rubber tire vehicular transportation system with its own right-of-way or dedicated lane along its route, providing service that is faster than a regular bus.

By Right: characterizing a proposal or component of a proposal that complies with this Code and is permitted and processed administratively, without public hearing. See *warrant* and *variance*.

Civic: the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, municipal government, and transit.

Civic Building: a building operated by one or more *civic* organizations.

Civic Parking Reserve: a *parking structure* or parking lot operated by a *civic* organization.

Civic Space: an outdoor area permanently dedicated for public use, operated by a *civic* organization.

Civic Zone: a designation for sites dedicated for *civic buildings* and *civic space*.

Commercial: the term collectively defining workplace, *office*, *retail*, and *lodging functions*.

Common Yard: a planted *private frontage*, visually continuous with adjacent yards, wherein the *facade* is set back from the *frontage line*.

Community Unit: a regulatory boundary mapped on a *regulating plan*.

Configuration: the form of a building, based on its massing, *private frontage*, and *height*.

Consolidated Review Committee (CRC): usually part of the planning office, a *CRC* is comprised of a representative from each of the various regulatory agencies that have jurisdiction over the permitting of a project, as well as a representative of the *development and design center*.

Coordinated Frontage: a coherent landscape and paving design of the *public frontage* and *private frontage*.

Corner Lot: a *lot* or parcel of land abutting two (2) or more *thoroughfares* at their *intersection*, or two (2) parts of the same *thoroughfare* forming an interior angle of less than one hundred thirty-five (135) degrees.

Cross-block Passage: a publicly accessible way providing access through a block that is restricted to pedestrian use and limited vehicular access.

DDC: See *development and design center*.

Density: the number of housing units within a standard measure of land area.

Development and Design Center (DDC): a component of the planning office assigned to advise on the use of this Code and to aid in the design of the communities and buildings based on it.

Disposition: the placement of a building on its *lot*.

Dooryard: a *private frontage* type with a shallow *setback* and front garden or patio, usually with a low wall or hedge at the *frontage line*. (Var: lightwell, light court.)

Driveway: a vehicular lane within a *lot*, often leading to a garage.

Edgeyard: a type of disposition where a building occupies the center of its *lot* with *setbacks* on all sides.

Effective Parking: the amount of parking provided on a *lot* adjusted by the *shared parking factor* and parking spaces purchased or leased off-site.

Elevation: an exterior wall of a building not along a *frontage line*. See *facade*.

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a *setback*, into the *public frontage*, or above a *height* limit.

Encroachment: any structural element that *encroaches*.

Enfront: to place an element along a *frontage*.

Extension Line: a line prescribed at a certain level of a building for the major part of the width of a *facade*, regulating the maximum height for an *encroachment* by an *arcade frontage*.

Facade: the exterior wall of a building that is set along a *frontage line*.

Fence: a permeable metal or wooden wall, independent of a building, located along a *frontage line*.

First Layer: the area of a *lot* comprised of the distance between the *frontage line* and the required *setback* including the *private frontage*.

Forecourt: a *private frontage* wherein a portion of the *facade* is close to the *frontage line* and the central portion is set back.

Front Setback: the distance from the *frontage line* to the point where a building may be constructed. This area must be maintained clear of permanent structures with the exception of *encroachments*.

Frontage: the area between a building *facade* and the vehicular lanes, inclusive of its built and planted components. *Frontage* is divided into *private frontage* and *public frontage*.

Frontage Buildout: the percentage of the *lot* width that is occupied by the building *facade* within the *first lot layer*.

Frontage Line: a *lot* line bordering a *public frontage*.

Function: the use or uses accommodated by a building and its *lot*, categorized as *Restricted*, *Limited*, or *Open*, according to the *intensity* of the use.

Gallery: a *private frontage* wherein the *facade* is aligned close to the *frontage line* with an attached cantilevered shed or lightweight colonnade overlapping the *sidewalk*.

Gross Lot Area: the area of a *lot* including the *net lot area* and portions of street rights-of-way and other required dedications and easements up to their centerline.

Height: See *building height*.

Home Occupation: non-retail *commercial* enterprises permitted under the *Restricted office* category.

Industrial: the *function* associated with a business or activity involving *manufacturing*, fabrication, assembly, distribution, disposal, warehousing or bulk storage, trucking and equipment facilities, and other business serving primarily *industrial* needs.

Infill Community Unit: a regulatory boundary mapped on a *regulating plan*.

Infill Thoroughfare: A designation mapped on a regulating plan indicating the modification of an existing *thoroughfare* or the alignment and allocation of right-of-way for a new *thoroughfare*.

Inn: a type of *lodging* building *function* that is owner-occupied, offering 6 to 12 bedrooms, permitted to serve breakfast in the mornings to guests.

Intensity: the magnitude of development permitted in the Restricted, Limited and Open categories of a *transect zone*.

Layer: See *lot layer*.

Lightwell: A *private frontage* type that is a below-grade entrance or recess designed to allow light into basements. (Syn: light court.)

Liner Building: a building specifically designed to mask a parking lot or a *parking structure* from a *frontage*.

Link to node ratio: is a measure of street network connectivity calculated by dividing the number of road segments between intersections, or links, by the number of intersections, or nodes.

Lodging: a building *function* available for daily and weekly renting of bedrooms.

Lot: a parcel of land accommodating a building or buildings under single ownership.

Lot Coverage: the percentage of a *lot* that is covered by buildings and other roofed structures.

Lot Layer: a range of depth of a *lot* within which certain elements are permitted.

Lot Line: the boundary that legally and geometrically demarcates a *lot*.

Lot Occupation: category for the area of a *lot* that may contain buildings, regulated in terms of width and coverage metrics.

Lot Width: the length of the *principal frontage line* of a *lot*.

Manufacturing: premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery or artisanal equipment, and including their *retail* sale.

Maximum Density: the maximum number of housing units permitted per acre of *gross lot area* on a single *lot* including adjustments for other *functions*. See *density* and *base density*.

Mixed Use: multiple *functions* within the same building through superimposition or adjacency, or in multiple buildings by adjacency, or at a proximity determined by *warrant*.

Net Lot Area: the area of a *lot* within the *frontage lines*, excluding any portions of street rights-of-way or other required dedications.

Nonconformity: an existing *function*, structure, *lot* or site improvement that is in compliance with the zoning regulations that were applicable to it when it was established, and for which all required permits were issued, but which does not conform in whole or in part to the regulations of this Section. Such nonconformity is legal and may continue except as regulated by this Section.

Office: premises available for the transaction of general business but excluding *retail*, artisanal and *manufacturing* uses.

Outbuilding: an *accessory building*, usually located toward the rear of the same *lot* as a *principal building*, and sometimes connected to the *principal building* by a *backbuilding*.

Other Function: any *function* other than *residential*.

Parking Structure: a building containing one or more *stories* of vehicular parking above or below grade.

Porch: An open air room appended to a building, with floor and roof but no walls on the sides facing *frontages*.

- Principal Building:** the main building on a *lot*, usually located toward the *frontage*.
- Principal Entrance:** the main point of access for pedestrians into a building.
- Principal Frontage:** the *private frontage* designated to bear the address and *principal entrance* to the building, and the measure of minimum *lot* width. See *frontage*.
- Private Frontage:** the privately held *layer* between the *frontage line* and the *principal building facade*.
- Public Frontage:** the area between the *curb* of the vehicular lanes and the *frontage line*.
- Rear Setback:** the distance from the rear *lot line* to the point where a building may be constructed. This area must be maintained clear of permanent structures with the exception of *encroachments*.
- Regulating Plan:** a *zoning map* or set of maps that show the *transect zones*, *civic zones*, *special districts*, *special requirements*, and *thoroughfare* assignments of areas subject to, or potentially subject to, regulation by this Section.
- Required Parking:** the number of parking spaces needed to accommodate a building or buildings on a single *lot* according to the *intensity* of its *function*.
- Residential:** characterizing premises available for long-term human dwelling.
- Retail:** characterizing premises available for the sale of merchandise and food service.
- Retail Frontage:** a *frontage* designated on a *regulating plan* that requires or recommends the provision of a *shopfront*, encouraging the ground level to be available for *retail* use. See *special requirements*.
- Secondary Frontage:** on corner *lots*, the *private frontage* that is not the *principal frontage*. As it affects the public realm, its *first layer* is regulated.
- Second Layer:** that portion of the *lot* behind the *first layer* which includes that portion of the building which *enfronts* the *thoroughfare*.
- Setback:** the area of a *lot* measured from the *lot line* to a building *facade* or *elevation* that is maintained clear of permanent structures, with the exception of *encroachments*. (Var: build-to-line.)
- Shared Parking Table:** a table in which the peak parking requirements for mixed-uses are calculated at specified times of day and days of the week, resulting in a net lower *required parking* by accounting for parking space availability across multiple uses and access times.
- Shared Parking Requirement:** the total *required parking* resulting from a single column of the *shared parking table*.
- Shopfront:** a *private frontage* conventional for *retail* use with substantial glazing wherein the *facade* is aligned close to the *frontage line* with the building entrance at *sidewalk* grade.
- Sidewalk:** the paved section of the *public frontage* dedicated exclusively to pedestrian activity. (Syn. *walkway*)
- Sign:** any identification, description, illustration, or device, illuminated or non-illuminated, that is visible from a public right-of-way or is located on private property and visible to the public and which directs attention to a product, place, activity, person, institution, business, message or solicitation, including any permanently installed or situated merchandise, with the exception of window displays, and any letter, numeral, character, figure, emblem, painting, banner, pennant, placard, or temporary *sign* designed to advertise, identify or convey information.
- Sign Band:** a wall area of a non-*residential* building built along the entire width of a *principal* or *secondary frontage* allocated for the placement of a *sign* above a *shopfront* or at the cornice. Table 7A.

Specialized Building: a building that is not subject to *residential*, *commercial*, or *lodging* classification.

Special District (SD): an area that, by its intrinsic *function*, *disposition*, or *configuration*, cannot or should not conform to one or more of the normative *community unit* types or *transect zones* specified by this Section.

Special Requirements: provisions of this Section that modify or extend requirements as designated on a *regulating plan* or other map for those provisions.

Stoop: a *private frontage* wherein the *facade* is aligned close to the *frontage line* with the first *story* elevated from the *sidewalk* for privacy, with an exterior stair and landing at the entrance.

Story: a habitable level within a building by which *height* is measured, excluding an *attic* or raised basement.

Streetscreen: a freestanding wall built along the *frontage line*, or coplanar with a *facade*. (Syn: streetwall)

Substantial Modification: alteration to a building that is valued at more than 50% of the replacement cost of the entire building, if new.

T-zone: See *transect zone*.

Terrace: A *frontage* wherein the *facade* is set back from the *frontage line* by an elevated terrace or a sunken *lightwell*. This type buffers *residential* use from urban *sidewalks* and removes the private yard from public *encroachment*. (Syn: lightwell)

Terminated Vista: a location at the axial conclusion of a *thoroughfare*.

Third Layer: that portion of the *lot* that is not within the *first* and *second layer* and is least visible from the *thoroughfare*.

Thoroughfare: a way for use by vehicular and pedestrian traffic and to provide access to *lots* and *open spaces*, consisting of *vehicular lanes* and the *public frontage*.

TOD: See *transit overlay district*.

Transect: a cross-section of the environment showing a range of different habitats. The rural-urban *transect* of the human environment used in this Section is divided into six *transect zones*. These zones describe the physical form and character of a place, according to the *density* and *intensity* of its land use.

Transect Zone: One of several areas on a *zoning map* regulated by this Section. *Transect zones* are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, *density*, *height*, and *setback* requirements, other elements of the intended habitat are integrated, including those of the private *lot* and building and *public frontage*.

Transit Overlay District: TOD is created by an overlay on all or part of one or more *community units*, modifying regulations of this Section to support rail or *bus rapid transit* (BRT).

Urbanism: collective term for the condition of a compact, *mixed-use* settlement, including the physical form of its development and its environmental, functional, economic, and sociocultural aspects.

Variance: a ruling that would permit a practice that is not consistent with either a specific provision or the Intent of this Section.

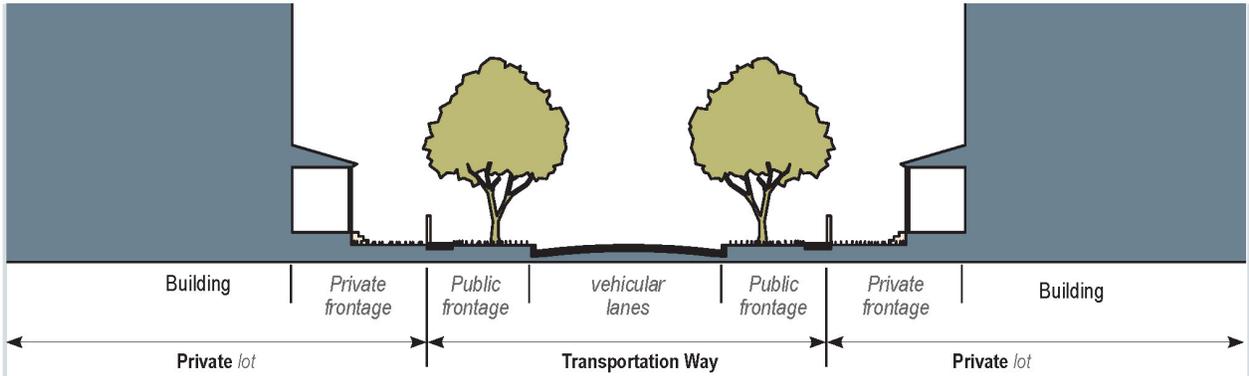
Warrant: a ruling that would permit a practice that is not consistent with a specific provision of this Section but is justified by its Intent.

Window Sign: a logo inscribed on the storefront glass. See Table 7A.

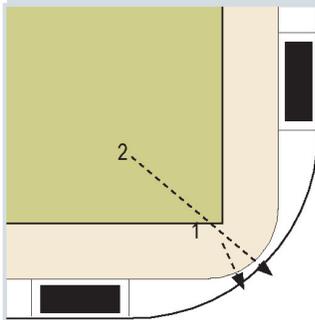
Zoning Map: the official map or maps that are part of the zoning ordinance and delineate the boundaries of individual zones and districts. See *regulating plan*.

TABLE 7A. DEFINITIONS ILLUSTRATED

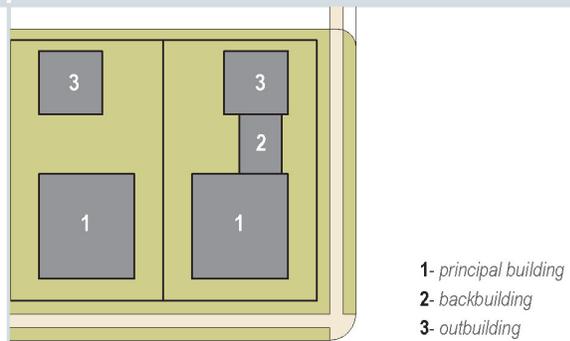
A. THOROUGHFARE AND FRONTAGES



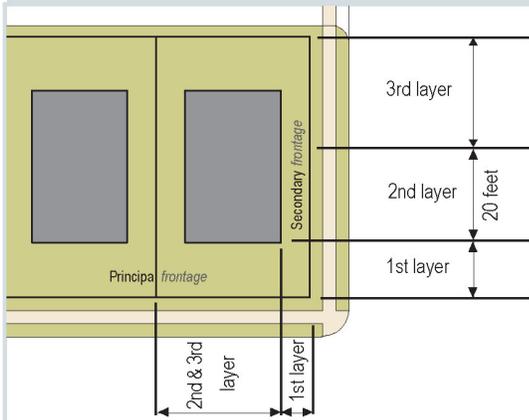
B. CURB RADIUS



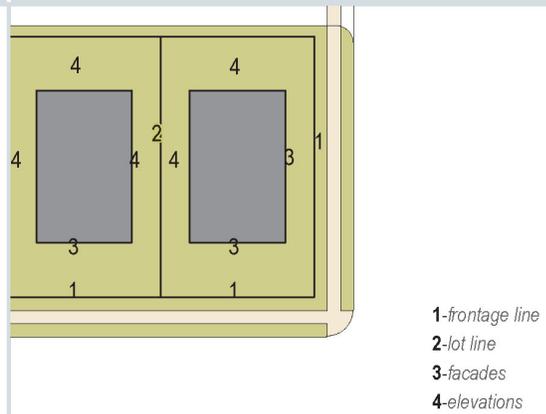
C. BUILDING DISPOSITION



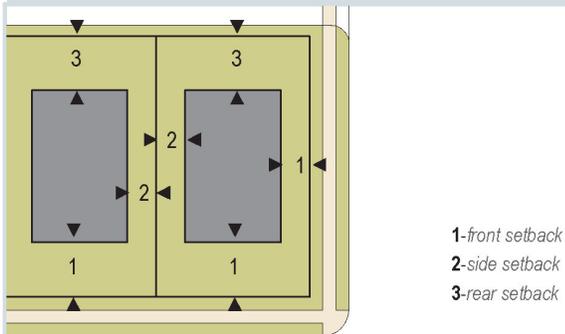
D. LOT LAYERS



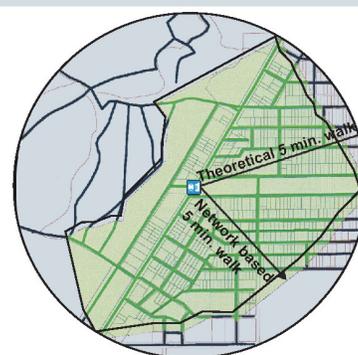
E. FRONTAGE LINES, LOT LINES & ELEVATIONS

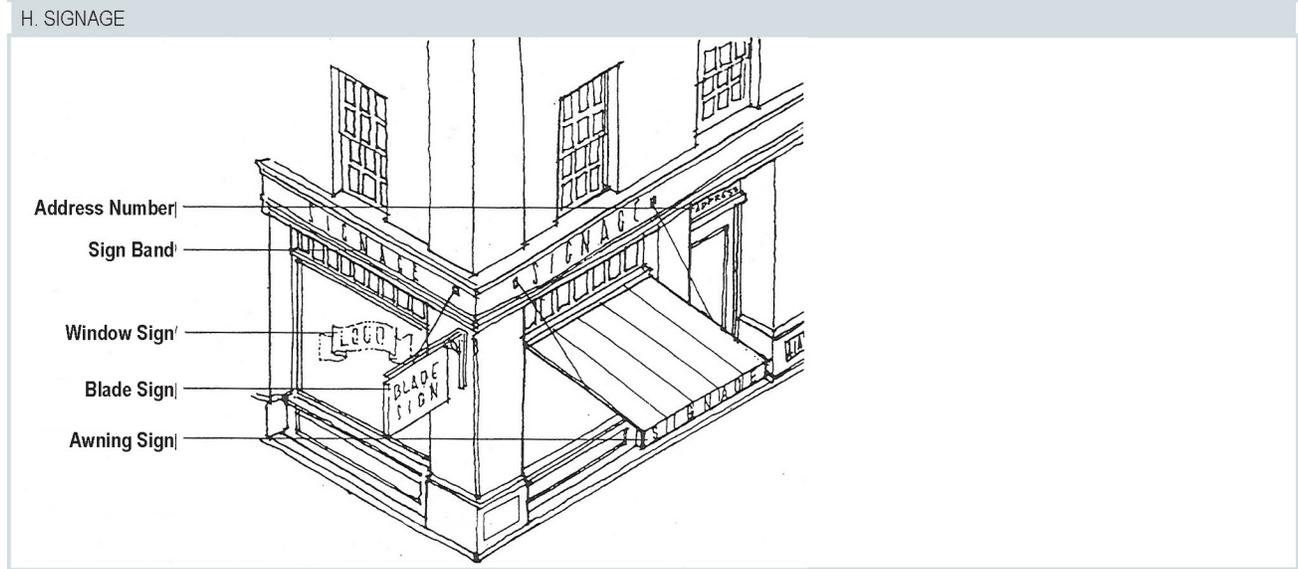


F. SETBACKS



G. NETWORK-BASED PEDESTRIAN SHED





OVERLAY A. LIFELONG COMMUNITIES**A.1 APPLICABILITY**

A.1.1 This overlay is activated through the mapping of an overlay district on *community units* in the SmartCode for Mableton, Georgia.

A.1.2 Italicized terms used throughout this Overlay are defined in Section A.6, Definitions. Section A.6 contains regulatory language that is integral to this Code. Italicized terms not defined in Section A.6 shall be accorded their definition in Article 7 of the SmartCode for Mableton, Georgia. Those terms not defined in Section A.6 shall be accorded their commonly accepted meanings. In the event of conflicts between these definitions and those of the existing local codes, those of this Code shall take precedence.

A.2 INTENT

A.2.1 In accordance with the intent of the Mableton SmartCode, this Overlay further regulates development at the *infill community plan* and building and site plan scales, based on the following premises:

- a. That the older adult population is increasing and facilities should be provided to server their needs equally with all people in the community.
- b. That access to daily needs within walking distance extends the independence of older adults.
- c. That existing federal regulations consider the building and urban environment as disconnected entities and require supplementary regulation to ensure equal access.

A.3 PATHWAY NETWORK**A.3.1 GENERAL REQUIREMENTS**

- a. An accessible and continuous *pathway network* shall be provided between and through all buildings, parking area, *private frontages* and *public frontages*.
- b. The *pathway network* should be allocated along *frontages* and provide access to all buildings.
- c. Pathway surfaces shall be smooth and clear of obstacles.
- d. Doors, gates, and other operable elements along the *pathway network* shall comply with ADA standards.
- e. *Resting areas* should be provided out of the *circulation path* when grade or other conditions require heightened levels of exertion and be clear of excess noise, odor, or splashing.
- f. Stairs and rams shall be marked with a change in texture at the top and bottom. Long stairways shall incorporate resting areas on intermediate landings out of the walking path.
- g. Ramps should run in the direction of travel.
- h. Railing should be mounted on non-abrasive wall surfaces.
- i. Drainage at pedestrian crossings of *thoroughfares* shall eliminate water and ice from collecting at the base of curb ramps.

A.3.2 SPECIFIC TO T1

- a. *T1* zones shall be exempt from *pathway network* requirements.

A.3.3 SPECIFIC TO T2

- a. *Pathway networks* may rely on vehicular connections where pedestrian connections are not feasible.

A.3.4 SPECIFIC TO T4, T5, T6

- a. *Pathway networks* shall directly connect indoor and outdoor spaces.
- b. Stairs and ramps should be eliminated along the *pathway network*.
- c. A minimum 5 foot wide clear *walkway* shall be maintained.
- d. Illumination of the *pathway network* should increase at *intersections*.
- e. Entrances to ground floor *retail, office* and *lodging* uses shall be illuminated.
- f. Signage for public information, *retail, office* and *lodging* uses shall:
 - i. be installed on glare-free surfaces,
 - ii. provide alternatives to text,
 - iii. use a legible font and lettering sized for view from the *pathway network*.

A.3.5 SPECIFIC TO T5 AND T6

- a. Signalized intersections shall be outfitted with countdown displays for walk/don't walk signs.
- b. Signal timing should be calculated by a movement rate of a typical slow moving pedestrian, 3.5 feet per second.
- c. Boundaries of safe crossing zones shall have color and tactile marking detectable by white cane users.
- d. Sensory cues shall be utilized to create detectable edges where pedestrian zones abut vehicular zones.

A.3.6 SPECIFIC TO T6

- a. All floors of residential buildings shall be accessible or be designed for accessibility retrofit.

A.4 VISITABILITY

- A.4.1 Residential buildings shall incorporate one no-step entrance accessing the main floor. Doors and hallways on the main floor shall maintain a minimum clearance of 32 inches.
- A.4.2 Residential buildings shall provide a minimum of one sleeping area on the main floor. Sleeping areas may be provided in rooms not permanently configured as bedrooms.
- A.4.3 Residential buildings shall provide one wheelchair accessible bathroom on the main floor providing wheeled mobility maneuvering room and sub-wall anchoring for grab bars.

A.5 DAILY NEEDS

- A.5.1 Access to daily needs should be provided in proximity to residential uses within 0.10 miles in T6, 0.25 miles in T5 and T4, and 0.50 miles in T3.
- A.5.2 Occupation of retail spaces should be prioritized within the pedestrian shed for the following types of retail:
 - a. grocery
 - b. dry cleaner
 - c. bank
 - d. drugstore
 - e. salon / barber shop
 - f. post office
 - g. food service
 - h. hardware sales
 - i. health services